



Township of Douro-Dummer Agenda for a Regular Meeting of Council

Tuesday, April 16, 2024, 5:00 p.m.
Council Chambers in the Municipal Building

Please note, that Council may, by general consensus, change the order of the agenda, without prior notification, in order to expedite the efficiency of conducting business

Electronic Meetings

Regular and Special meetings of Council are being held in person and electronically. Regular Meetings are recorded and live-streamed on the Township YouTube channel. Special Meetings will be recorded and live-streamed where feasible.

To watch the meeting live or access a recording please visit the Township's YouTube Channel
https://www.youtube.com/channel/UCPpzm-uRBZRDjB89o2X6R_A

Please contact the AClerk if you require an alternative method to virtually attend the meeting.
martinac@dourodummer.on.ca or 705-652-8392 x210

	Pages
1. Call to Order	
2. Land Acknowledgement	
3. Moment of Silent Reflection	
4. Disclosure of Pecuniary Interest:	
5. Adoption of Agenda: April 16, 2024	
6. Adoption of Minutes and Business Arising from the Minutes	
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7. Consent Agenda (Reports voted upon by ONE motion) - No Debate	
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	A list of registered speakers will be released no later than Monday at 4:30 p.m. The deadline to register is 12-noon on Monday prior to the meeting.	
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12.3	Township of Terrace Bay - Resolution regarding support of a measured approach to Ontario's Energy Transition	139

12.4	Town of Shelburne - Resolution regarding the eradication of Islamophobia and Antisemitism	141
13.	By-laws:	
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14.	Reports derived from previous Notice of Motions	
15.	Notices of Motion - No Debate	
16.	Announcements:	
17.	Closed Session:	
	Reason for Closed Session:	
	Section 239 (2) of the Municipal Act, 2001, S.O. 2001, c. 25	
	(c) a proposed or pending acquisition or disposition of land by the municipality or local board;	
	(k) a position, plan, procedure, criteria or instruction to be applied to any negotiations carried on or to be carried on by or on behalf of the municipality or local board. 2001, c. 25, s. 239 (2); 2017, c. 10, Sched. 1, s. 26.	
17.1	Committee of the Whole Closed Session Meeting Minutes - April 9, 2024	
18.	Rise from Closed Session with or without a Report	
19.	Matters Arising from Closed Session	
20.	Confirming By-law: By-law Number 2024-21	146
21.	Next Meeting	
	May 7, 2024 Regular Council Meeting	
22.	Adjournment	

Minutes of the Regular Meeting of Council of the Township of Douro-Dummer

April 2, 2024, 5:00 PM
Council Chambers in the Municipal Building

Members Present: **Mayor Heather Watson**
 Deputy Mayor Harold Nelson
 Councillor Thomas Watt
 Councillor Adam Vervoort
 Councillor Ray Johnston

Staff Present: **Acting CAO/Clerk - Martina Chait-Hartwig**
 Interim Treasurer - Paul Creamer
 Planner - Christina Coulter
 Student – Eva Baldi

1. Call to Order

With a quorum of Council being present, the Mayor called the meeting to order at 5:01 p.m.

2. Land Acknowledgement

The Mayor recited the Land Acknowledgement.

3. Moment of Silent Reflection

Council observed a moment of silent reflection.

4. Disclosure of Pecuniary Interest:

The Mayor reminded members of Council of their obligation to declare any pecuniary interest they might have. None were declared.

5. Adoption of Agenda: April 2, 2024

Resolution Number 090-2024

Moved by: Councillor Watt

Seconded by: Councillor Vervoort

That the agenda for the Regular Council Meeting, dated April 2, 2024, be adopted, as circulated.

Carried

6. Adoption of Minutes and Business Arising from the Minutes
- 6.1 Regular Council Meeting Minutes - March 19, 2024
- Resolution Number 091-2024**
 Moved by: Councillor Johnston
 Seconded by: Deputy Mayor Nelson
 That the Minutes from the Regular Council Meeting held on March 19, 2024 be received and approved. Carried
7. Consent Agenda (Reports voted upon by ONE motion) - No Debate
- 7.1 Peterborough County Council Minutes – February 21, 2024 and March 6, 2024
- 7.2 Technical Advisory Committee Official Plan Modification Meeting No. 4 - Meeting Minutes March 21, 2024
- Resolution Number 092-2024**
 Moved by: Deputy Mayor Nelson
 Seconded by: Councillor Watt
 That the Consent Agenda for April 2, 2024 be received. Carried
8. Delegations, Petitions, Presentations or Public Meetings:
- 8.1 Public Meeting - Zoning By-law Amendment - File R-06-24 (Girard), Planning-2024-09
- Resolution Number 093-2024**
 Moved by: Councillor Johnston
 Seconded by: Deputy Mayor Nelson
 That the Public Meeting regarding the proposed Zoning By-law Amendment R-06-24 (Girard) be declared open. (5:03 p.m.) Carried
- In attendance:
 Michel and Megan Girard, applicants
- Comments received:
- Enbridge Gas Inc.: No objections to the application.
 - City of Peterborough: No comments or concerns in relation to the proposed rezoning application.

- Otonabee Region Conservation Authority: Otonabee Conservation staff review indicates that the proposed development on the lands is not located within a known hazard. Therefore, it is the opinion of Otonabee Conservation staff that the application remains consistent with Section 3.1 of the PPS. Otonabee Conservation staff review indicates that the lands are not subject to Ontario Regulation 167/06 Otonabee Conservation’s “development, interference with wetlands and alterations to shorelines and watercourses” regulation. Permits from Otonabee Region Conservation Authority are not required. It was determined that the subject property is not located within a vulnerable area that is subject to SPP policies. Significant drinking water threats are not possible and a Restricted Land Use Notice is not required.
- A letter was received on April 1, 2024 from the owner of 810 Canal Road indicating that they are neither in favour or disagreement of the application, but did provide the history of the previous uses of the two properties. They noted drainage issues and inquired about the septic and well servicing for the two dwellings. A copy of the letter was provided to the applicant.

Resolution Number 094-2024

Moved by: Councillor Vervoort

Seconded by: Deputy Mayor Nelson

That the Public Meeting for the proposed Zoning By-law Amendment R-06-24 (Girard) be declared closed. (5:09 p.m.)

Carried

Resolution Number 095-2024

Moved by: Councillor Johnston

Seconded by: Councillor Watt

That Report, dated April 2, 2024, regarding Zoning By-law Amendment – File R-06-24 be received; and

That Council receive all comments related to Zoning By-law Amendment File R-06-24; and

That the By-law to enact the amendment be passed at the appropriate time in the meeting.

Carried

- 8.2 Presentation - Peterborough County/City Paramedics - Services Update
Resolution Number 096-2024
Moved by: Councillor Johnston
Seconded by: Councillor Vervoort
That the presentation from Patricia Bromfield, Chief of Paramedics for Peterborough County/City Paramedics regarding the services update be received. Carried
- 8.3 Delegation - Patrick Leahy, Douro 200th Anniversary Committee - Peter Robinson Emigration Commemorations
Resolution Number 097-2024
Moved by: Deputy Mayor Nelson
Seconded by: Councillor Vervoort
That the delegation from Patrick Leahy of the Douro 200th Anniversary Committee regarding the Peter Robinson Emigration Commemorations scheduled for July 2025 be received. Carried
- 8.4 Delegation - Morton Medical Centre - 2022 Financial Statements and Community Grant Application
Resolution Number 098-2024
Moved by: Councillor Watt
Seconded by: Councillor Johnston
That the delegation from Dave Bignell, Vice Chair, Ron Fotheringham and Sue Bell-Gastle of the Morton Medical Centre on the 2022 Financial Statements and Community Grant Application be received. Carried
9. Public Comment Period - No Debate or Decision: None
10. Staff Reports
- 10.1 Report and Capital Project Status
Resolution Number 099-2024
Moved by: Deputy Mayor Nelson
Seconded by: Councillor Vervoort
That the Report and Capital Status document be received. Carried

10.2 Community Grant Requests, Treasurer-2024-03

Resolution Number 100-2024

Moved by: Councillor Vervoort

Seconded by: Councillor Johnston

That the report, dated April 2, 2024, regarding Community Grant Requests be received, and;

That Council provide staff with direction to fund the Community Grant request from the Warsaw and District Lion's Club (Application #3) for the 2024 property tax amount of \$1,324.49, and;

That the Community Grant request from the Morton Community Healthcare Centre (Application #2) for 50% of the 2023 and 2024 municipal portion of the property taxes which totals \$7,711.78, be further discussed and revisited at a later meeting. Carried

10.3 Line Fences Act Program Overhaul, Clerk's Office-2024-08

Resolution Number 101-2024

Moved by: Councillor Vervoort

Seconded by: Councillor Watt

That the report, dated April 2, 2024, regarding the Line Fences Act Program Overhaul be received; and

That Council passes the draft Line Fences By-law, and approves the Policy and Procedure; and

That Council appoints Township Staff as Fence-Viewers until community viewers can be recruited. Carried

10.4 Request for Appointment to the Library Board, Clerk's Office-2024-07

Resolution Number 102-2024

Moved by: Councillor Watt

Seconded by: Councillor Vervoort

That the report, dated April 2, 2024 regarding a request for a new member to be appointed to the Douro-Dummer Public Library Board be received and that Tina Fridgen be appointed to the Board for the remainder of the 2022-2026 term of Council. Carried

11. Committee Minutes and Other Reports: None

12. Correspondence – Action Items:

12.1 Municipality of Wawa - Resolution regarding Pausing Advancement on Proposed Highway 413

Resolution Number 103-2024

Moved by: Councillor Vervoort

Seconded by: Councillor Watt

That the resolution from the Municipality of Wawa regarding Pausing Advancement on Proposed Highway 413 be received. Carried

12.2 Town of Bracebridge - Resolution regarding Request to the Province of Ontario for New Provincial-Municipal Fiscal Framework

Resolution Number 104-2024

Moved by: Councillor Vervoort

Seconded by: Councillor Johnston

That the resolution from The Town of Bracebridge regarding a request to the Province of Ontario for New Provincial-Municipal Fiscal Framework be received and supported. Carried

12.3 The County of Prince Edward - Resolution regarding a Call to Action to Meet the Deadline of an Accessible Ontario by 2025

Resolution Number 105-2024

Moved by: Deputy Mayor Nelson

Seconded by: Councillor Watt

That the resolution from The County of Prince Edward regarding a Call to Action to meet the Deadline of an Accessible Ontario by 2025 be received. Carried

13. By-laws:

- 13.1 By-law Number 2024-16 to amend By-law Number 10-1996, as amended, otherwise known as "The Township of Douro-Dummer Comprehensive Zoning By-law" (File R-06-24)

Moved by: Deputy Mayor Nelson

Seconded by: Councillor Vervoort

That By-law 2024-16 to amend By-law Number 10-1996, as amended, otherwise known as "The Township of Douro-Dummer Comprehensive Zoning By-law" (File R-06-24), be passed, in open Council this 2nd day of April, 2024 and that the Mayor and the Clerk be directed to sign same and affix the Corporate Seal thereto. Carried

- 13.2 By-law Number 2024-17 - Application of the Line Fences Act in the Corporation of The Township of Douro-Dummer and Repeal By-law 2009-33

Moved by: Councillor Watt

Seconded by: Councillor Johnston

That By-law 2024-17, Being a By-law for the Application of the Line Fences Act in the Corporation of The Township of Douro-Dummer and Repeal By-law 2009-33, be passed, in open Council this 2nd day of April, 2024 and that the Mayor and the Clerk be directed to sign same and affix the Corporate Seal thereto. Carried

- 13.3 By-law Number 2024-18 - Appointment of Fence-Views for the Township of Douro-Dummer

Moved by: Deputy Mayor Nelson

Seconded by: Councillor Vervoort

That By-law 2024-18, Being a By-law to Appoint Fence-Viewers for the Township of Douro-Dummer, be passed, in open Council this 2nd day of April, 2024 and that the Mayor and the Clerk be directed to sign same and affix the Corporate Seal thereto. Carried

14. Reports derived from previous Notice of Motions: None

15. Notices of Motion - No Debate: None

16. Announcements:

Councillor Johnston mentioned the Warsaw and District Lions' Beef Dinner that will take place on May 4, 2024 at the Warsaw Town Hall.

Mayor Watson announced the success of the Easter Egg Hunt hosted by the Douro-Dummer Parks and Recreation Department at the Douro Park March 30, 2024, and thanked staff for their efforts.

17. Closed Session: None18. Rise from Closed Session with or without a Report: None19. Matters Arising from Closed Session: None20. Confirming By-law 2024-18

Moved by: Councillor Johnston

Seconded by: Councillor Vervoort

That By-law Number 2024-18, being a By-law to confirm the proceedings of the Regular Meeting of Council, held on the 2nd day of April, 2024, be passed in open Council and that the Mayor and the Clerk be directed to sign same and affix the Corporate Seal thereto. Carried

21. Next Meeting:

Committee of the Whole – April 9, 2024

Special and Regular Council Meeting – April 16, 2024

22. Adjournment**Resolution Number 106-2024**

Moved by: Deputy Mayor Nelson

Seconded by: Councillor Watt

That this meeting adjourn at 6:27 p.m. Carried

Mayor, Heather Watson

Acting CAO/Clerk, Martina Chait-Hartwig



COUNTY OF PETERBOROUGH
MUNICIPAL APPRAISAL FORM

APPLICANT: Jeannette Cooper, Nicole Payne, Rod Tedford

FILE B - 22-24

LOT: 13, CON.: 1 MUNICIPAL WARD: Douro

911 address: 1002 Payne Line Road, Roll #: 1522-010-002-03100, Island # or other: _____

APPLICATION FOR: Creation of a new lot - Residential

RECOMMENDATION:

Application conforms to the Official Plan. Severed parcel conforms to the Zoning By-Law. Retained parcel conforms to the Zoning By-Law. The Township recommends this application. If the application is approved, the following conditions are requested:

- 1. [X] \$1250 Cash-in-lieu of parkland fee be paid to the Municipality.
2. [X] A 3-metre strip of frontage from the severed parcel be deeded to the Township for road widening purposes. Cost to be incurred by the applicant.
3. [X] Test holes for the septic system be inspected, there is a fee to inspect test holes to ensure a septic system would be viable - The fee of \$150 has been paid. The applicant is responsible for the digging of the test holes and requesting the inspection.
4. [] _____
5. [] _____

Comments: _____

OFFICIAL PLAN:

Application conforms to the Township Official Plan policies, Section(s) 6.2.2.2, 6.2.2.3 (d), 6.2.2.5 (a), (d) & (e), 6.1.1 and 7.12.

Severed Parcel:

- a) Proposed Use: Residential _____
b) Land Use Designation(s): Rural.
c) The proposed use is a permitted one.
d) Special policies affecting the severed parcel (i.e. OPA): _____

Retained Parcel(s):

- a) Proposed Use: Residential _____
b) Land Use Designation(s): Rural.
c) The proposed use is a permitted one.
d) Special policies affecting the retained parcel (i.e. OPA): _____

ZONING BY-LAW:

Severed Parcel:

- a) The severed parcel conforms to the Township Zoning By-Law provisions, Section(s) 9.1.5, 9.2.4 (a) & (b).
b) [X] A rezoning is not required for the severed parcel.
c) [X] A minor variance is not required for the severed parcel.
d) The existing zoning of the severed parcel is: (RU).
e) The recommended zoning of the severed parcel would be: _____

Retained Parcel(s):

- a) The retained parcel conforms to the Township Zoning By-Law provisions, Section(s) 9.1.5, 9.2.4 (a) & (b), 19.1.
b) [X] A rezoning is not required for the retained parcel.
c) [X] A minor variance is not required for the retained parcel.
d) The existing zoning of the retained parcel is: (RU) & (EC).
e) The recommended zoning of the retained parcel would be: _____

General:

- a) If the severed and/or retained parcel(s) do not conform to the Zoning By-Law, Council supports a rezoning and/or minor variance.

Completed By: Christina Coulter

Date: April 8, 2024

Amended Date: _____

FILE: B-22-24
DATE: March 14, 2024

Notice of Application For Consent

- TO: Municipality Public Works Other
 Planning Department City of Peterborough Bell Canada
Septic Comments Ministry of Transportation (K) (B)
 Public Health North Kawartha Trent Severn Waterway
 Douro Dummer Chief, First Nation Council KPR & PVNCCD School
 (ORCA) (CVCA) (KRCA) CP Rail Boards

Pursuant to Section 3(8) of Ontario Regulation 197/96, under the Planning Act, I am enclosing a copy of an application for Consent, for your review and comments to the Peterborough County Land Division Office.

An application for Consent has been made by **Jeanette Cooper/Nicole Payne & Rod Tedford**.

Purpose and Effect

The purpose of the application is to request the consent of the Land Division Office to the conveyance of a parcel of land having a frontage of approximately **76.2m** and an area of approximately **0.5806 hectares**.

The effect of the application is to create a new residential lot

Location of Land

Municipality: (Ward of) **Douro** Lot **13** Concession **1**. Plan _____ Block _____
911 Address: 1002 Payne Line Rd

Other Planning Act Applications: This land is the subject of the application is the subject of another application under the Planning Act for:

- Official Plan Amendment: File Number _____
 Zoning By-Law Amendment: File Number _____
 Minor Variance: File Number _____
 Minister's Zoning Order Amendment: File Number _____

Decision and Appeal

If you wish to be notified of the decision in respect of the proposed consent, you must make a written request to the Land Division Office at the address noted below.

If a person or public body, that files an appeal of a decision in respect of the proposed consent, does not make a written submission to the Land Division Office before it gives or refuses to give a provisional consent, then the Local Planning Appeal Tribunal may dismiss the appeal.

Last Day for Receiving Comments:

Pursuant to Section 53 (14) of the Planning Act, if an application is made for a consent and a decision regarding the application is not made within 60 days after the day the application is received by the Land Division Office, the applicant may appeal to the Local Planning Appeal Tribunal. It is the policy of the Land Division Committee that there be 35 consecutive days allowed for agencies to submit their comments.

Therefore, your comments are required to be received prior to April 11, 2024. If comments are not received, prior to this date, the Committee may proceed with the hearing of this application.

Please quote the name of the applicant and the file number, which is located at the top right hand corner of the application form, on your correspondence which is directed to this office.

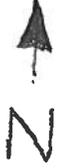
Additional information regarding this application will be available to the public for inspection between 8:30 a.m. to 4:30 p.m. - Monday to Friday at:

**County of Peterborough, Land Division Office,
County Court House, 470 Water Street, Peterborough, Ontario. K9H 3M3**

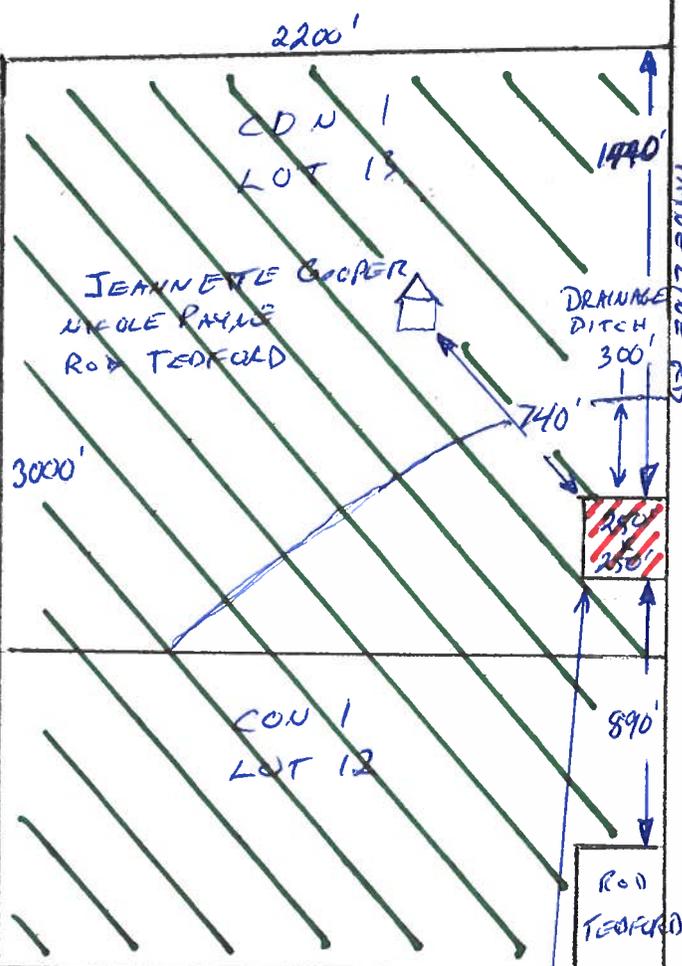
If you require this information in an accessible format, please contact Ann Hamilton at ahamilton@ptbocounty.ca 705-743-0380 extension 2406

CON 1
LOT 14
GARY MYLES

HYDRO EASEMENT
WEST SIDE OF ROAD
5 METERS FROM
POLE



BRENT
DILLON



GLEN
McMULLEN

15 METER SET BACK
DRAINAGE DITCH

SHAWN ROGERS

MARK TEMPLE

MAC O'BRIEN

DUTIN YORK

RANDY PAYNE

VINCE PARCELLS

DAW MACNEIL

BRENDA OLVER

ROD
TEDFORD

DAVE
WINSHALL

JOHN SPINELLO

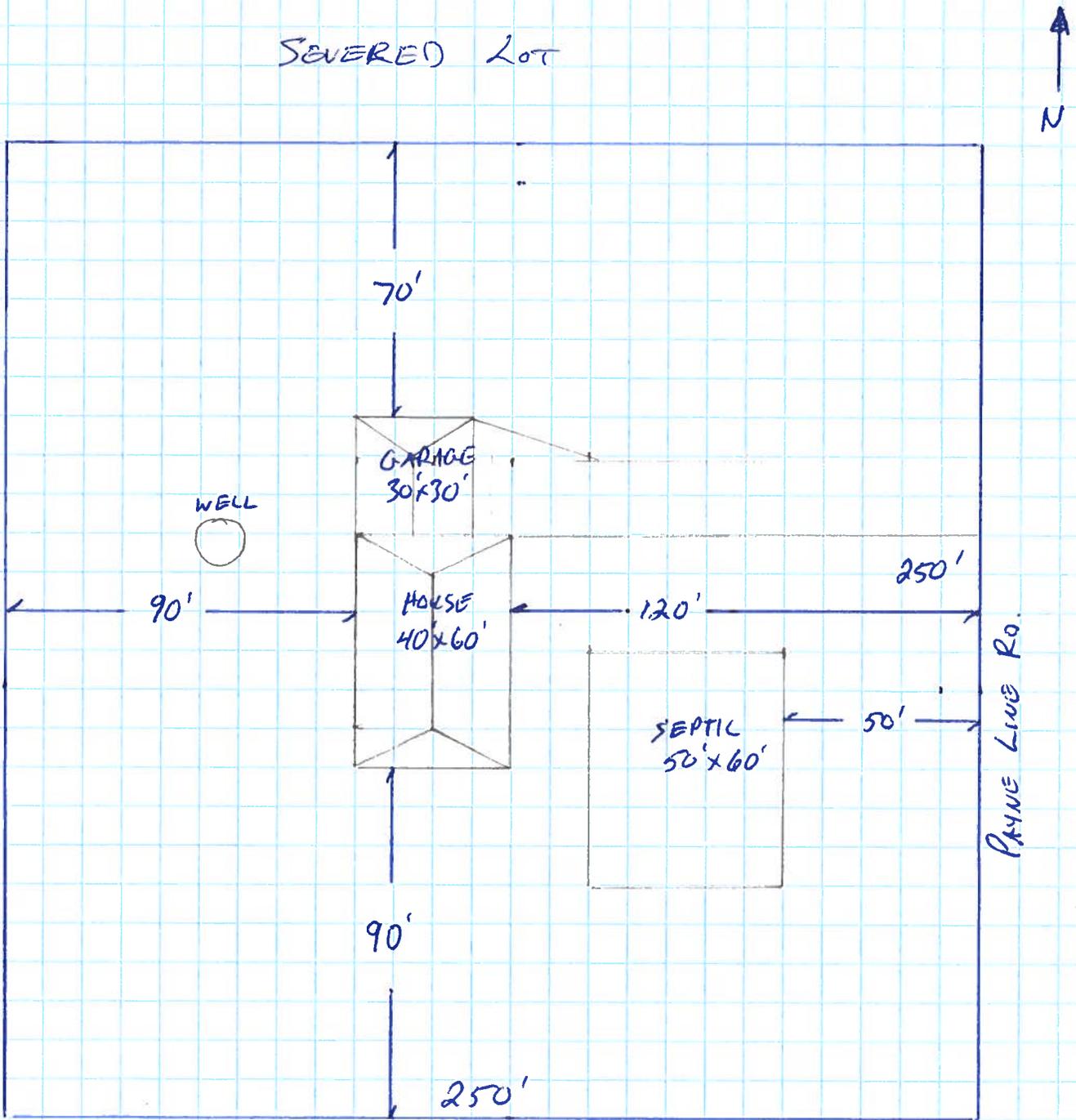
1960'

BARRE

COUNTY RD 4

476 410

SEVERED LOT





Do You Use Drugs?

Reading This Could Save Your Life!

WARNING: Drug Poisoning ALERT in Peterborough Region

April 4, 2024 - Peterborough Public Health is issuing an alert following a trigger of the Early Warning Surveillance System (EWSS). Details on this event are below:

CONTEXT:

- **5 drug poisonings resulting in EMS calls or ED visits occurred March 3, 2024**
- **Higher than normal rate of poisonings observed over the last 5 days**

Suspected Substance: **UNKNOWN**

Naloxone cannot reverse the effects of sedatives, but it can't hurt! **Use naloxone if you suspect a drug poisoning!**

ACTIONS:

Drug Checking:

- Available at Consumption & Treatment Site (CTS) – 220 Simcoe St.
- Test strips for fentanyl, benzos, and xylazine are available at the CTS during hours of operation (9:30 a.m. – 9:00 p.m.; daily)

Harm Reduction Support:

- Consumption & Treatment Site (CTS) – 220 Simcoe St. Open 9:30 a.m. – 9:00 p.m.; daily
- National Overdose Response Service – 1-888-688-6677(NORS)
- Krasman Centre - Warm Line & Peer Crisis Support Services – 1-888-777-0979
 - krasmancentre.com/what-we-do/warm-line-peer-crisis-support/; Available 10:00 a.m.-Midnight

Crisis Support:

- 9-8-8 Suicide Crisis Helpline - Call or text 9-8-8; National 24/7 suicide or emotional distress hotline ○ Telecare Distress Centre of Peterborough – call 705-745-2273; Open 24/7

Find Naloxone:

- ALWAYS carry multiple naloxone kits. Learn where to get a Naloxone kit at [Ontario.ca/page/where-to-get-a-free-naloxone-kit](https://ontario.ca/page/where-to-get-a-free-naloxone-kit)

If you need help or have questions:



Peterborough Public Health

705-743-1000

peterboroughpublichealth.ca

To get naloxone contact:

Peterborough Public Health... 705-743-1000

PARN... 705-749-9110

FourCAST... 705-876-1292

The Elizabeth Fry Society... 705-749-6809

360 Clinic... 705-874-3900

Canadian Mental Health Association... 705-748-6711

Curve Lake Health Centre... 705-657-2557

Pharmacies & Other... ontario.ca/naloxone

To seek professional help for drug and alcohol use contact:

Rapid Access Addiction Medicine (RAAM) Clinic

432 George Street North, Peterborough

(Co-located with the George Street Pharmacy). Open:

Monday, Wednesday, Friday:

8:00 – 11 a.m. and 1:00 – 3:00 p.m. Phone: 705-749-9708

Treasury Board Secretariat Secrétariat du Conseil du Trésor

Office of the President Bureau de la présidente

Whitney Block, Room 4320 Édifice Whitney, bureau 4320
99 Wellesley Street West 99, rue Wellesley Ouest
Toronto ON M7A 1W3 Toronto ON M7A 1W3
Tel.: 416 327-2333 **Tél. :** 416 327-2333



Dear Head of Council:

Today I am proud to release Ontario's [first annual report on the Provincial Emergency Management Strategy and Action Plan](#), reporting on progress made to move emergency management forward in collaboration with our partners.

The report highlights key actions the province is taking in collaboration with partners to ensure that communities across Ontario are as safe and prepared as possible before, during and after emergencies. It also sets out future priorities that will guide our work moving forward to keep Ontarians safe.

We have made substantial investments, created new grant programs and expanded training opportunities to ensure that emergency management partners across Ontario have the resources and tools necessary to prepare for, and respond to, emergencies such as floods, wildland fires and cyber attacks.

The province collaborated with municipal and Indigenous partners to highlight the progress we have made since releasing our plan in 2023. Those accomplishments include:

- Launching the [Community Emergency Preparedness Grant](#) to help communities and organizations purchase critical emergency equipment and supplies.
- Leading and participating in 85 emergency exercises and drills with government and non-governmental partners to strengthen emergency practice and preparedness.
- Launching the Provincial Exercise Program, a multi-year plan to exercise, test and strengthen multi-sector emergency plans and whole-of-government emergency response.
- Providing municipalities and provincial partners with resources to help them plan, set up and coordinate emergency exercises on their own.

The report demonstrates Ontario's leadership as the first jurisdiction in Canada to require annual and public reporting on progress made towards emergency management goals.

We are grateful for your valued partnership and look forward to continuing to work together to move emergency management forward.

Sincerely,

A handwritten signature in black ink that reads "Caroline Mulroney". The signature is written in a cursive, flowing style.

The Honourable Caroline Mulroney
President of the Treasury Board
Minister responsible for Emergency Management

c: Bernie Derible, Deputy Minister and Commissioner of Emergency Management,
Treasury Board Secretariat

Treasury Board Secretariat Secrétariat du Conseil du Trésor

Office of the President Bureau de la présidente

Whitney Block, Room 4320 Édifice Whitney, bureau 4320
99 Wellesley Street West 99, rue Wellesley Ouest
Toronto ON M7A 1W3 Toronto ON M7A 1W3
Tel.: 416 327-2333 **Tél. :** 416 327-2333



Madame la Présidente du Conseil,
Monsieur le Président du Conseil,

Aujourd'hui, je suis fière de diffuser le [premier rapport annuel de la Stratégie et plan d'action de l'Ontario pour la gestion des situations d'urgence](#), qui donne un compte rendu des progrès accomplis pour faire avancer la gestion des situations d'urgence en collaboration avec nos partenaires.

Le rapport souligne les mesures clés que prend la province, en collaboration avec ses partenaires, pour faire en sorte que les collectivités des quatre coins de l'Ontario soient le plus en sécurité et préparées possible avant, pendant et après des situations d'urgence. Il présente également les priorités futures qui guideront nos efforts pour garder la population ontarienne en sécurité.

Nous avons fait des investissements considérables, créé de nouveaux programmes de subventions et multiplié les possibilités de formation afin que les partenaires de la gestion des situations d'urgence des quatre coins de l'Ontario disposent des ressources et des outils nécessaires pour se préparer et répondre aux situations d'urgence telles que les inondations, les feux de forêt et les cyberattaques.

La province a collaboré avec des partenaires municipaux et autochtones pour souligner les progrès que nous avons réalisés depuis la publication de notre plan en 2023. Au nombre des réalisations, mentionnons :

- Nous avons lancé la [Subvention pour les projets communautaires de protection civile](#) afin d'aider les collectivités et les organisations à se procurer les fournitures et l'équipement d'urgence essentiels.
- Nous avons dirigé et facilité 85 exercices et séances d'entraînement d'urgence auxquels ont participé des partenaires gouvernementaux et non gouvernementaux afin de renforcer l'entraînement et la préparation en cas d'urgence.
- Nous avons lancé le programme provincial d'exercices, un plan pluriannuel pour mettre en pratique, tester et renforcer les plans d'urgence mutisectoriels et les interventions d'urgence pangouvernementales.

- Nous avons fourni aux municipalités et aux partenaires provinciaux des ressources en vue de les aider à planifier, à mettre en place et à coordonner eux-mêmes des exercices d'urgence.

Le rapport souligne le leadership de l'Ontario à titre de première administration au Canada à exiger des rapports annuels et publics sur les progrès réalisés vers l'atteinte des objectifs de gestion des situations d'urgence.

Nous sommes reconnaissants de vous être associés à nous et nous sommes impatients de continuer de travailler ensemble afin de faire évoluer la gestion des situations d'urgence.

Veillez agréer, Madame la Présidente du Conseil, Monsieur le Président du Conseil, l'expression de mes salutations distinguées.



L'honorable Caroline Mulroney
Présidente du Conseil du Trésor
Ministre responsable de la gestion des situations d'urgence

c.c. Bernie Derville, sous-ministre et commissaire à la gestion des situations d'urgence
Secrétariat du Conseil du Trésor

News Release



For Immediate Release

Date: April 10, 2024
To: Representatives of the Media
From: Tracie Bertrand, Manager of Communications
Subject: Your Health Matters – Healthcare Needs Assessment Launch

Today, Peterborough County proudly announces the launch of its new Healthcare Needs Assessment form. This innovative tool is designed to gather crucial insights directly from the residents of Peterborough County, forming the cornerstone of our strategic plan for the future of healthcare in our region. Every household is encouraged to participate and have their voice heard.

The Healthcare Needs Assessment form serves multiple purposes. Firstly, it will provide invaluable feedback on all health and human services desired by our communities, facilitating the development of comprehensive healthcare solutions closer to home. Additionally, it allows residents to register their need for a primary care provider and it will act as the official list for residents without a family practitioner.

We recognize the challenges faced by many in our community, including the difficulty in accessing primary care and the burden of long-distance travel for healthcare services. Through this initiative, we aim to streamline the process, eliminating the frustration of wait lists and offering a Peterborough County centralized database for physicians seeking new patients or considering relocation to our vibrant region. This will eliminate the need for residents to contact already overwhelmed practices or by having to de-roster from their current physician to be considered. This list will be the only place residents need to register.

Importantly, Peterborough County is leading the charge in healthcare advancement and physician recruitment. As our communities continue to expand, we will forge ahead with thoughtful preparation for healthcare environments that attract physicians, and other healthcare professionals and cater to our residents' present and future healthcare requirements.

News Release



With the appointment of Lori Richey as our Health Care Advancement Coordinator, Peterborough County and its eight lower-tier municipalities are poised for success. Lori brings a wealth of experience and expertise, ensuring that our initiatives are not only effective but also tailored to the unique needs of our region.

Peterborough County's commitment to building a healthier, stronger community is unwavering. Your input is invaluable in shaping the future of healthcare in our region. Join us in this mission by completing the Healthcare Needs Assessment form available at www.ptbocounty.ca/yourhealthmatters, for those without access to the internet please call 705-930-4765. Together, we can create a healthcare landscape that meets the needs of today and tomorrow, ensuring a brighter and healthier future for all residents of Peterborough County.

"In Peterborough County, your health matters! We are taking action to assist residents who need access to healthcare. To begin the essential work of recruiting and planning for the future of primary healthcare delivery in our communities, the Healthcare Needs Assessment form will provide a convenient and consolidated overview of where resources are needed across our county. Our goal is for healthcare to be more accessible for everyone; rural or urban, young or elderly. I encourage every resident in Peterborough County to complete the Healthcare Needs Assessment Form."

Peterborough County Warden, Bonnie Clark

"I am deeply honored to serve in this capacity, dedicated to the fundamental mission of ensuring equitable access to primary care for every resident of Peterborough County. Our commitment extends beyond immediate solutions; it entails the meticulous implementation of a comprehensive, long-term strategy, shaped by the invaluable insights of our community members. Together, we are fostering a healthier future for the vibrant community of Peterborough County."

Healthcare Advancement Coordinator, Lori Richey

For media or interview inquiries please contact the Manager of Communications at communications@ptbocounty.ca

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FAQs re Healthcare Needs Assessment Form

Peterborough County has launched a Healthcare Needs Assessment form. This form will be the basis of the new waitlist for residents who require a physician in addition to gathering information on what other health related services residents of Peterborough County would like to see closer to home.

Your Health Matters in Peterborough County!

Why are you collecting this information?

At this point, we do not have an accurate count of the number of people within each township who do not have a physician or want to access care closer to home. By completing this form, it will help us with planning and recruitment of healthcare professionals to the area.

How will I know if a physician/nurse practitioner is accepting patients?

You will be notified by the Health Care Advancement Coordinator or delegate and will be asked to go to the physician office to complete the required paperwork.

If I have a physician, but would like one closer to home do I need to de-register from that physician to go on this list?

No, you will not be required to do that. You can continue to receive care from your current physician until a physician/nurse practitioner becomes available in your desired township.

I am already on the provincial Health Care Connect waiting list, do I need to register here as well?

Yes, we will be using this list versus the Health Care Connect List when a physician is adding patients, or a new physician is recruited to town.

I am on another list at the Township Office and or Family Physician Office, should I still complete this form?

Yes, the goal is that this list replaces the lists at these locations. This will help ensure accuracy and relieve the burden of maintaining a list from these locations.

I have been advised by Health Care Connect to still call the individual offices to see if they are taking patients, should I continue to do that?

No, please do not do that. These offices are overburdened, and we seek to take this extra work off their plate.

What do I do if I get a physician outside Peterborough County and or move and no longer wish to be on this list?

Contact the Healthcare Advancement Coordinator at yourhealthmatters@ptbocounty.ca or 705-930-4765 to be removed from the list.

What do I do if I do not have a doctor and require care?

Visit www.ptbocounty.ca/yourhealthmatters for other care options.

Delegation of Powers and Duties - Report to Council for Information

Report Date: April 10, 2024

Power Delegated:	Lottery Licence
Title of Person Delegated Authority:	Clerk
Name of Person Using the Authority:	Martina Chait-Hartwig
Action Taken:	Issued Lottery License to St. Josephs Parish Catholic Women's League for a quilt raffle with the winner to be chosen on September 2, 2024.
Date Action Taken:	April 10, 2024

Recommendation:

That Report Planning-2024-12, dated April 16, 2024, regarding Zoning By-law Amendment – File R-08-24 be received; and

That Council receive all comments related to Zoning By-law Amendment File R-08-24; and

That, provided Council is satisfied the proposed use and rezoning would not preclude or hinder the establishment of new aggregate operations or access to the resources, the By-law to enact the amendment be passed at the appropriate time in the meeting.

Overview:

Owners, Francis Joseph McMahon and Paul Stephen Gerard McMahon have applied to amend the existing zoning on a portion of their property known municipally as 129 Douro Ninth Line, being Roll No. 1522-010-004-04700. The subject property is currently zoned the Extractive Industrial Zone (M2), the Environmental Conservation Zone (EC), the Environmental Conservation Provincially Significant Wetland Zone (EC(P)), the Special District 106 Zone (S.D. 106) and the Rural Zone (RU) as illustrated on Schedule A1 to By-law No. 10-1996, as amended.

The Owners obtained a building permit (Permit DD-2023-1068) for the construction of an approximately 1189 square metre agricultural storage building in the Rural Zone (RU) portion of the subject property. An agricultural use is permitted in the (RU) Zone and structures must comply with Section 9.2.1 of By-law No. 10-1996, as amended. Specifically, Section 9.2.1.1 (c) requires a minimum exterior side yard of 45 metres. The permit was issued based on a site plan that demonstrated the proposed structure complied with the By-law. A copy of the approved site plan is attached to this Report. During construction, the Building Department became aware that the agricultural building was not located in accordance with the approved site plan and was encroaching into the exterior side yard by approximately 19 metres.

Since the subject property fronts on County Road 4 and Douro Ninth Line, County Road 4 is considered the front lot line and Douro Ninth Line is considered an exterior side lot line (Section 22.130.1).

The effect of the Amendment is to rezone a portion of the subject lands from the Rural Zone (RU) to the Special District 258 Zone (S.D. 258). The (S.D. 258) Zone proposes to reduce the minimum exterior side yard requirement from 45 metres to 25 metres to permit the construction of the agricultural storage building. All other applicable zones and provisions of By-law No. 10-1996, as amended will continue to apply.

A copy of the draft By-law is attached to this Report.

Notice of the public meeting was given on March 22, 2024 by ordinary mail and/or e-mail to all prescribed public bodies and to every person and public body that has provided a written request for Notice.

Notice of the public meeting was posted on the subject property along the County Road 4 and Douro Ninth Line frontages and on the Township Website.

A copy of the Notice is attached to this Report. The giving of Notice complies with the applicable Regulation of the Planning Act.

Conformity to Provincial Policy Statement (PPS) and A Place to Grow, Growth Plan for the Greater Golden Horseshoe (Growth Plan):

The subject property contains and is located within 120 metres of key natural heritage features and key hydrologic features (provincially significant wetland, watercourse, non-evaluated wetlands, inland lakes and species at risk). Section 4.2.3.1 of the Growth Plan prohibits development and site alteration within key hydrologic features. The storage building is not located within the key hydrologic features.

Section 4.2.4.1 of the Growth Plan states that development and site alteration within 120 metres of the above features requires a natural heritage evaluation/hydrologic evaluation that identifies a vegetation protection zone (VPZ) that is no less than 30 metres.

However, Section 4.2.4.4 (b) and (c) of the Growth Plan state that:

- b) new buildings and structures for agricultural uses, agriculture-related uses, or on-farm diversified uses will not be required to undertake a natural heritage or hydrologic evaluation if a minimum 30 metre vegetation protection zone is provided from a key natural heritage feature or key hydrologic feature; and
- c) uses permitted in accordance with policy 4.2.4.4 b):
 - i. are exempt from the requirement of establishing a condition of natural self-sustaining vegetation if the land is, and will continue to be, used for agricultural purposes; and
 - ii. will pursue best management practices to protect and restore key natural heritage features, key hydrologic features, and their functions.

An Environmental Management Plan (EMP) was prepared by Cambium Inc. (Cambium) dated March 9, 2023 in support of Permit Douro-Dummer-2023-1068. The EMP noted that an Environmental Impact Study (EIS) was completed by Cambium in 2022. The EMP states "the EIS demonstrated that the proposed activities were outside of the adjacent wetland area and that potential negative impacts can be appropriately mitigated. A Site Plan has been developed that incorporates the appropriate setbacks,

as per recommendations in the EIS (Figure 2).” The EMP provides additional details recommended within the EIS, as well as addressing Otonabee Region Conservation Authority (ORCA) requests to support the permit application. A copy of the EMP is attached to this Report.

Based on the EMP and EIS, ORCA Permit Number 2023-065 was approved April 4, 2023 in support of the building permit application and outlines project specific conditions that must be adhered to. A copy of Permit 2023-065 is attached to this Report.

Policy 2.1.5 (d) of the PPS prohibits development and site alteration within significant wildlife habitat unless it has been demonstrated that there will be no negative impacts on the natural features or their ecological functions.

Policy 2.1.7 of the PPS prohibits development and site alteration, within habitat of endangered species and threatened species, except in accordance with provincial and federal requirements.

Species at Risk Ontario (SAROntario) has previously stated that there are no requirements under the ESA to undergo a species at risk site assessment for passing by-laws. The “provincial requirements” stated in PPS Policy 2.17 include the Endangered Species Act (ESA).

SAROntario stated “the ESA prohibits activities such as killing, harming, harassing and capturing species at risk (listed under the Act). The ESA also prohibits damaging or destroying species' habitat. If the activity that is to be undertaken might affect species at risk then a person may need a permit or authorization...Zoning changes by themselves and in the absence of any additional development proposals are administrative; these activities on their own do not contravene the ESA. Specifically, to contravene the ESA, an activity must have the effect of killing, harming or harassing individuals of a species at risk, or damaging or destroying their habitat. The simple act of passing a bylaw or other similar administrative activities do not result in any of these impacts.”

Policy 2.1.9 of the PPS states that nothing in policy 2.1 is intended to limit the ability of agricultural uses to continue.

The subject property contains portions of a mapped floodplain. In correspondence dated April 3, 2024, the Otonabee Region Conservation Authority indicated the development is not located within a known natural hazard and therefore, the application is consistent with Section 3.1 of the PPS referencing Natural Hazards.

A copy of the ORCA comments are attached to this Report and further comments are outlined below.

The subject property is adjacent to the Peterborough Proposed Bypass, a Ministry of Transportation (MTO) planned corridor. Section 3.2.5.1 (b) of the Growth Plan and Policies 1.6.8.1 through 1.6.8.3 of the PPS require that planning authorities plan for and protect transportation corridors for the long term and shall not permit development in planned corridors that could preclude or negatively affect the use of the corridor for the purpose for which it was identified.

In correspondence dated April 4, 2024, MTO confirmed the subject lands are within MTO's permit control area and Ministry approvals and permits are required prior to the construction and/or alteration of any buildings and/or structures and prior to the issuance of any municipal building permits or approvals as per Section 8. (2) (a) of the Building Code Act.

MTO reviewed the application in accordance with the Public Transportation and Highway Improvement Act (PTHIA) and the Highway Corridor Management Manual to offer the following comments:

- The Ministry has reviewed its files and does acknowledge that the Ministry has issued a Building and Land Use permit (BL-2022-41K-00000004) for this property.
- MTO has no concerns with the proposed zoning by-law amendment.
- Should the proponent intend on developing the subject lands in the future, additional MTO review and approvals will be required.

A copy of the MTO comments are attached to this Report.

The subject property contains an active Class B licenced aggregate pit and primary sand and gravel aggregate resources. The storage building is located within the mapped aggregate resource and within 300 metres of the pit. Policy 2.5.2.5 of the PPS states in known deposits of mineral aggregate resources and on adjacent lands, development and activities which would preclude or hinder the establishment of new operations or access to the resources shall only be permitted if:

- a) resource use would not be feasible; or
- b) the proposed land use or development serves a greater long-term public interest; and
- c) issues of public health, public safety and environmental impact are addressed.

Provided Council is satisfied that the proposed use and the rezoning would not preclude or hinder the establishment of new aggregate operations or access to the resources, the rezoning application appears to have demonstrated consistency and conformity with the applicable provisions of the PPS and Growth Plan.

Conformity to Official Plan:

The subject property is designated Rural, Environmental Constraint, Extractive Industrial, Extractive Industrial Licenced and Provincially Significant Wetland and is subject to Special Policy Section 6.2.2.11(d)(iv) as illustrated on Schedule A4-1 of the Official Plan.

The storage building is located within the Rural designation. The predominant use of land within the Rural designation includes all agricultural uses (S. 6.2.2.2).

New development must be established in accordance with the Minimum Distance Separation (MDS) requirements of the PPS (S. 6.2.2.3 (d)). The description of proposed work for Permit DD-2023-1068 states "Construction of a[n] agricultural accessory storage structure. Slab on grade, see project drawings. Storage will include agricultural equipment and feed (corn, hay, straw etc.)". The keeping of livestock within the building is not proposed and therefore MDS Formula II is not applicable.

The application appears to comply with the Official Plan.

Comments:

As of the writing of this Report, no comments have been received from members of the public.

Comments were received from the following agencies:

- Enbridge Gas Inc.: No objections to the application.
- Peterborough County Engineering and Design: No objections, comments or concerns with respect to the application.
- Kawartha Pine Ridge District School Board: No concerns or issues related to our mandate.
- MTO:

The Ministry has reviewed its files and does acknowledge that the Ministry has issued a Building and Land Use permit (BL-2022-41K-00000004) for this property.

MTO has no concerns with the proposed zoning by-law amendment.

Should the proponent intend on developing the subject lands in the future, additional MTO review and approvals will be required.

- Otonabee Region Conservation Authority:

Otonabee Conservation mapping indicates that the proposed development is not located within a known hazard. Therefore, it is the opinion of Otonabee Conservation staff that the application is consistent with Section 3.1 of the PPS referencing Natural Hazards.

Otonabee Conservation mapping indicates that the lands are partially subject to Ontario Regulation 41/24 Otonabee Conservation's "Prohibited Activities, Exemptions and Permits" regulation. Permits from this agency may be required prior to any site alteration or construction in those areas regulated by Otonabee Conservation.

The subject property is not located within a vulnerable area that is subject to Trent Source Protection Plan (SPP) policies.

Copies of these agency comments are attached to this Report.

The application was circulated to Senior Staff on March 22, 2024. As of the writing of this Report, there were no concerns identified by Senior Staff.

Conclusion:

The requested zoning by-law amendment is required to reduce the minimum exterior side yard setback from 45 metres to 25 metres. A portion of the subject property is proposed to be rezoned from the Rural Zone (RU) to the Special District 258 Zone (S.D. 258) to permit the construction of an approximately 1189 square metre agricultural storage building (Permit Douro-Dummer-2023-1068).

Provided Council is satisfied the proposed use and rezoning would not preclude or hinder the establishment of new aggregate operations or access to the resources, the proposed rezoning meets the intent of municipal and provincial policies.

Financial Impact:

All costs related to the application for a Zoning By-law Amendment are the responsibility of the Owner/Applicant.

Strategic Plan Applicability: N/A

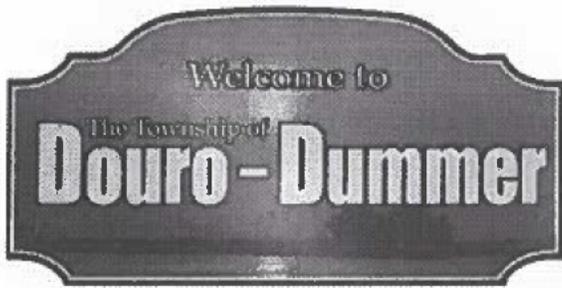
Sustainability Plan Applicability: N/A

Report Approval Details

Document Title:	R-08-24 (McMahon) Public Meeting Report.docx
Attachments:	<ul style="list-style-type: none"> - R-08-24 Application_Redacted.pdf - R-08-24 Site Plan -129 Douro Ninth Line for rezoning.pdf - R-08-24 DD-2023-1068 - Approved Site Plan from bldg permit.pdf - R-08-24 - ZBA Notice.pdf - R-08-24 - Draft By-law.pdf - R-08-24 2023-03-09 Cambium LTR EMP.pdf - R-08-24 PPRD-2505_ORCA_permit_2023-065 SIGNED AND AUTHORIZED.pdf - R-08-24 - County EandD Comments (April 4, 2024).pdf - R-08-24 - Enbridge Comments (April 1, 2024).pdf - R-08-24 - KPRDSB Comments (March 27, 2024).pdf - R-08-24 - MTO Comments (April 4, 2024).pdf - R-08-24 - ORCA File No PPLD-2306 (April 3, 2024).pdf
Final Approval Date:	Apr 8, 2024

This report and all of its attachments were approved and signed as outlined below:

Martina Chait-Hartwig



Office Use Only	
File No.	R-08-24
Date App. Submitted	Mar. 20, 2024
Application Fee	\$ 1650
Date Fee Received	Mar. 20, 2024
Date Application Deemed Complete	
Roll No.	010-004-04700

**Township of Douro-Dummer Application for
Amendment to Zoning By-law #10-1996, as amended**
(Section 34 of the Planning Act, R.S.O. 1990, c. P. 13, as amended)

1.0 Applicant Information

Registered Owner(s): McMahon, Francis Joseph, McMahon, Paul Stephen Gerard
(Please Indicate Name(s) *Exactly* as Shown on the Transfer/Deed of Land)

Address: [Redacted]

Phone: (home) [Redacted] Email: [Redacted]

Phone: (cell) [Redacted] Phone: (work) same

Fax: N/A

2.0 Agent Information

Authorized Agent (if any): Paul Stephen Gerard McMahon

Address: [Redacted]

Phone: (home) [Redacted] Email: [Redacted]

Phone: (cell) [Redacted] Phone: (work) [Redacted]

Fax: N/A

3.0 Other Information – Charges Against the Land

If known, the name(s) and address(es) of holder(s) of any mortgages, charges or other encumbrance(s) in respect of the subject land: _____

4.0 Legal Description/Location/Property Characteristics/Access to Subject Land:

County Peterborough		Township Douro- Dummer	Ward (Former Township) Douro
Concession Number(s) 9	Lot Number(s) 1 & 2	Legal Description:	
Registered Plan No:	Lot(s)/ Block No.	Civic/911 Address: 129 Douro Ninth Line	
Reference Plan No:	Part Number(s):	Are there any easements or restrictive covenants affecting the property?	
Date subject land was purchased by current		1944 - No easements ^	

4.1 Dimensions of the Subject Land

Frontage: <input type="checkbox"/> Water: <u>N/A</u> <input type="checkbox"/> Road: <u>51m (CR 4)</u>	Depth: <input type="checkbox"/> Min: <u>635m</u> <input type="checkbox"/> Max: <u>680m</u>	Area: 61.5 ha
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4.2 Access to the Subject Land

Access to Subject Property –		<input checked="" type="checkbox"/> Existing	or	<input type="checkbox"/> Proposed
<input checked="" type="checkbox"/> Municipal Road – maintained year round	<input type="checkbox"/> Private Road			
<input checked="" type="checkbox"/> County Road	<input type="checkbox"/> Right-of-way			
<input type="checkbox"/> Provincial Highway	<input type="checkbox"/> Water			
<input type="checkbox"/> Other public road (Specify):				
Name of Road/Street:	County Road 4 and Douro Ninth Line			
If access to the land is by water only:				
Where are parking and docking facilities:	N/A			
Approximate distance from subject land:				
Approximate distance from nearest public road:				

5.0 Official Plan Designation and Zoning

Official Plan Designation: Rural, Extractive Industrial & Licensed, ECA, Special Policy Area Prov Sig Wetland

Please provide an explanation of how the application for rezoning will conform to the Official Plan
Agricultural uses are permitted in the Rural Designation. Amendment will permit construction of an Agricultural Building

Zoning By-law : RU, EC, M2 and SD.106 EC (P)

Is the subject land in an area where zoning conditions apply? Yes No. If yes, please explain how the application conforms to the Official Plan policies relating to zoning with conditions: The building will be located in the RU zone - no additional zoning conditions in this area.

5.1 Density and Height Requirements

Are there minimum and maximum density requirements on the property: Yes No
If Yes, what are they and are they being met? 1 dwelling unit per lot

Are there minimum and maximum height requirements on the property: Yes No
If Yes, what are they and are they being met? 9m for dwelling, 7.5 for accessory - Yes

6.0 Purpose of the Application

Please describe the nature and extent of the rezoning request:

Rezone lands zoned RU to a special district which permits a reduced exterior side yard setback of 25.5 metres.

Please explain the reason for the requested rezoning: Due to environmental constraints, proposed agricultural building cannot meet 45m required setback. Footings have been surveyed by an OLS to confirm measurement.

7.0 Settlement/Employment Areas

Does the application propose to implement or alter a boundary of an area of settlement:
 Yes No If Yes, please explain the details of the Official Plan or Official Plan Amendment that deal with this matter?

Does the application propose to remove land from an area of employment (Hamlet or Special Industrial properties): Yes No If Yes, please explain the details of the Official Plan or Official Plan Amendment that deal with this matter?

8.0 Property Characteristics, Access and Servicing Information

Water Supply:	Please identify the type of water supply serving the subject property:
<input checked="" type="checkbox"/> Existing <input type="checkbox"/> Proposed	<input checked="" type="checkbox"/> Privately-owned/operated individual well <input type="checkbox"/> Privately-owned/operated communal well <input type="checkbox"/> Publicly-owned/operated piped water system <input type="checkbox"/> Lake or other water body <input type="checkbox"/> Other (specify): _____

Storm Drainage:	Please identify the type of storm drainage serving the subject property:
<input checked="" type="checkbox"/> Existing <input type="checkbox"/> Proposed	<input type="checkbox"/> Sewers <input checked="" type="checkbox"/> Ditches <input type="checkbox"/> Swales <input type="checkbox"/> Other (specify): _____

Sewage Disposal:	Please identify the type of sewage disposal serving the subject property:
<input checked="" type="checkbox"/> Existing <input type="checkbox"/> Proposed	<input checked="" type="checkbox"/> Privately-owned/operated individual septic system <input type="checkbox"/> Privately-owned/operated communal septic system <input type="checkbox"/> Publicly-owned/operated sanitary sewage system <input type="checkbox"/> Privy <input type="checkbox"/> Other (specify): _____
	If the sewage disposal system is proposed, have you obtained a permit from the Township of Douro-Dummer? <input type="checkbox"/> Yes or <input type="checkbox"/> No Permit Number: _____
	Does the application permit development on Privately-owned/operated individual or communal septic systems and more than 4500 Litres of effluent would be produced per day as a result of the development being completed? (this is usually anything above or beyond a regular single family dwelling) <input type="checkbox"/> Yes or <input checked="" type="checkbox"/> No If yes, the following are required: a) A servicing options report Date received: _____ b) A hydrogeological report Date received: _____

Source Water Protection Area:	Is your property within a vulnerable area as defined by the Source Water Protection Plan? <input type="checkbox"/> Yes or <input checked="" type="checkbox"/> No If yes, have you attached the required clearance notice from the Risk Management Official with your application? <input type="checkbox"/> Yes or <input type="checkbox"/> No
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9.0 Existing and Proposed Uses and Structures:

What is the subject land currently used for? Agricultural with dwelling, farm shop (retail)

How long have the existing uses of the subject land continued? 80+ years

What are the proposed uses of the subject land? Continuation of existing uses with new ag building

In the tables below, please provide information regarding all existing and proposed structures (this information must also be included on the site plan provided with the application). **Please note** that an up-to-date location survey will be required.

Existing Structures (in metric) See Attached Plans

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Length	Width	Height	Date Constructed
Dwelling		2259	3 Part				1870
Barn(s)		1008+-					1968
Agricultural buildings		3456					1992
Farm Retail Store		2140/4096					1998/2017
Ag Building		2448					1981

Please place an asterisk (*) beside any existing structure that will be demolished.

Proposed Structures (in metric)

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Length	Width	Height
Agricultural Storage	1130.5 sqm			53	21.33	9m

Will the proposal add any of the following?

	Yes	No	If yes, please provide:	Existing	Proposed
Total Living Area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Size		
Bedrooms	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Number		
Bathrooms	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Number		
New Plumbing Fixtures	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Number of Fixtures		

10.0 Existing and Proposed Structures: Setbacks

In the tables below, please provide information regarding all existing and proposed structures (this information must also be included on the site plan provided with the application). **Please note** that an up-to-date location survey will be required.

Existing Structures (in metric)

Type of Structure	Front Lot Line	Rear Lot Line	Side Lot Line	Side Lot Line	Water yard	Other (specify)
See aerial of structures						

Please place an asterisk (*) beside any existing structure that will be demolished.

Proposed Structures (in metric)

Type of Structure	Front Lot Line	Rear Lot Line	Side Lot Line	Side Lot Line	Water yard	Other (specify)
Agricultural Storage	+/-330m	+/- 600m	26m**			

Note: Information regarding the definitions of the requested dimensions and setbacks can be obtained from the Township's Zoning By-law 2010-55.

Lot Coverage (in metric and percentage)

	Existing	Proposed
Principle Use (i.e. Dwelling)	205 (dwelling), 1220 (ag use), 675 Store	205 (dwelling), 2350.5 (ag), 675 store
Accessory Structures		
Total	2100 sqm (0.34%)	3230.5 sqm (0.52%)

11.0 Other Information:

Please provide any additional information that you feel may be relevant in the review of this application on additional pages as necessary along with any required studies.

12.0 Other Planning Applications

Please indicate if the subject land is or has been the subject of an application under the Planning Act.

Type of Planning Application	Yes	No	File Number	Status
Approval of Plan of Subdivision (under Section 51)	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Consent (Severance) (Section 53)	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Minor Variance (Section 45)	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Other:	<input type="checkbox"/>	<input type="checkbox"/>		

13.0 Provincial Plans

Is the application consistent with the Provincial Policy Statements? Yes or No

Is the subject property within an area of land designated under any provincial plan(s)? Yes or No
(Growth Plan applies to the entire County of Peterborough)

If yes, does the application conform to or meet the intent of the provincial plan(s)? Yes or No

14.0 Public Consultation Strategy:

Please provide a description of the Public Consultation Strategy that will be used by the applicant during the zoning by-law amendment process to ensure that the public is consulted, please attached additional pages if needed:

As per the Planning Act.

15.0 Authorization by Owner to Appoint an Agent:

I/We Francis Joseph McMahon, being the owner(s) of the subject land, hereby, authorize Paul Stephen Gerard McMahon to be the applicant in the submission of this application.

Signature _____


Date March 20/24

Signature _____


Date March 20 2024

16.0 Freedom of Information:

For the purposes of the Freedom of Information and Protection of Privacy Act, I/We authorize and consent to the use by or the disclosure to any person or public body or publishing on the Municipal website any information that is collected under the authority of the Planning Act for the purposes of processing this application.

Paul McMahon
Owner/Applicant/Agent Signature

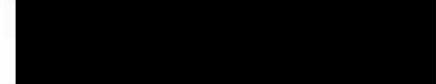
March 20 2024
Date


Owner/Applicant/Agent Signature

March 20 / 24
Date

17.0 Access to Property:

I/We Paul McMahon, hereby, authorize the members of the Council of the Township of Douro-Dummer or their agent(s)/representative(s) to attend at the subject property located at [insert address] 129 Ninth Line, Douro ON K9T 6Y1


Owner/Applicant/Agent Signature

March 20 2024
Date

18.0 Declaration of Applicant:

I/We Paul McMahon of the twposm in the
(name of owner(s)/agent(s) (city/town/township in which you reside)
Peterborough in ont solemnly
(County/Upper-tier municipality, if applicable) (Province/Territory)
declare that:

All the statements contained in this application and provided by me are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath

Declared before me at the Township of Douro-Dummer in the County of Peterborough

this 20 day of March, 2024.

[Redacted Signature]

Signature of Commissioner, etc.

Danna Kelly
Deputy Treasurer /Tax Clerk
Commissioner of Oath
Township of Douro-Dummer

To be signed in the presence of a Commissioner for taking affidavits

[Redacted Signature]

Owner/Applicant Agent Signature

Owner/Applicant Agent Signature

This application must be accompanied by the Township of Douro-Dummer Zoning By-law Amendment Fee (\$1650.00) plus the ORCA Fee in cash, by Interac or cheque made payable to the Treasurer of the Township of Douro-Dummer).

Personal information contained on this form, collected pursuant to the Planning Act, will be used for the purpose of responding to the initial application. Questions should be directed to the Freedom of Information and Privacy Coordinator at the institution conducting the procedures under the Act.

File Name/No. _____

Roll No. _____

Affidavit

In the Matter of a **Zoning By-law** application to the Township of Douro-Dummer,

I/We, Paul McMahon, make oath and say that:
[Print Owner/Applicant/Agent name]

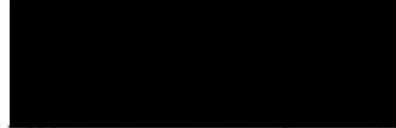
1. I am: *[Place a clear mark within the square opposite one of the following paragraphs that describes capacity of deponents.]*

- the applicant or one of the applicants in the Application(s).
- the authorized agent acting in this matter for the applicant or applicants.
- an officer of the corporate applicant named in the Application(s).

2. On or before the *[Insert date]* Public Meeting, I will ensure that the notice or notices of the Application(s) provided to me (or the Applicant, as the case may be) by the Township of Douro-Dummer have been posted so as to be clearly visible and legible from a public highway, or other place to which the public has access, at every separately assessed property in the area that constitutes the subject land of the Application(s) or, where posting on the property was impractical, at a nearby location so as to adequately indicate to the public what property is the subject of the Application(s).

Should the notice(s) be removed, by any means from the posting area(s), I will immediately contact the Township of Douro-Dummer Planning Department for replacement copies of the notice(s).

Declared before me at the Township of Douro-Dummer in the County of Peterborough this 20th day of March, 2024.



Signature of Commissioner, etc.

To be signed in the presence of a Commissioner for taking affidavits



Owner/Applicant Agent Signature

Owner/Applicant Agent Signature

Note: Failure to post the notices, as required by this Affidavit, may result in additional costs and/or delays with your application.

Donna Kelly
Deputy Treasurer /Tax Clerk
Commissioner of Oath
Township of Douro-Dummer



Township of Douro-Dummer

Planning Application Costs Acknowledgement Form

I/We, Paul Stephen Gerard McMahon
[Print Owner/Applicant/Agent name]

do hereby acknowledge and agree that the payment of the fee that is submitted with this application for a Zoning By-law Amendment, as being an application fee only, will be used to defray the costs of processing this application, and;

do also hereby acknowledge and agree to assume all costs** incurred by the Township of Douro-Dummer associated with the processing of this application that exceed the amount of the application fee, including, but not restricted to, Professional Planning Fees, Engineering Fees and Legal Fees, in addition to the municipal costs associated with this application, and;

do also hereby acknowledge and agree to assume all costs** incurred by the Township of Douro-Dummer associated with any Appeal to the Local Planning Appeal Tribunal with respect to this application.

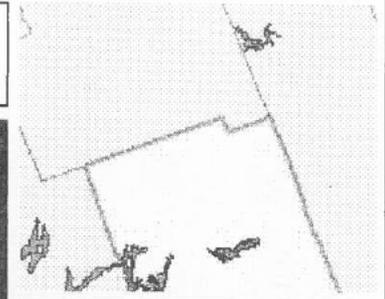
Dated this 20 day of March, 2024.

Owner/Applicant/Agent Signature

****** Written consent from the applicant will be obtained prior to any such additional costs being incurred.



Subject Lands- ZBLA- 129 Douro Ninth Line



Legend

Roads < 50,000

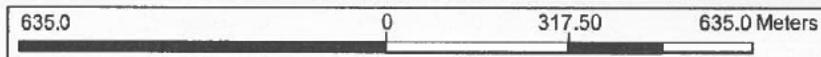
- PRIV ; Private, PRIV
- City Arterial
- City Collector and Local
- City Owned Unclassified
- Provincial
- County
- Township
- Water Access Only

Outside Roads < 50,000

- Major Roads
- Local Roads

- First Nations
- Parcel Fabric
- Parcel First Nations - Canada I
- Clean Water Act Policies Apply
- Lakes - Local Scale
- Municipal Boundary - Upper Ti
- <all other values>
- COUNTY OF PETERBOROUGH

1: 12,500



NAD83_CSRS98_UTM_zone_17N
© Latitude Geographics Group Ltd.

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes



**ENVIRONMENTAL
MANAGEMENT PLAN**
STARFRA FEEDS
 153 Douro Ninth Line
 Douro-Dummer, Ontario

LEGEND

- 14m Right of Way Setback
- Proposed 10m Wetland Setback
- Sediment Fence
- Verified Wetland Boundary
- [Stippled Box] Pond
- [Dotted Box] Unevaluated Wetland
- [Cross-hatched Box] Wetland
- [White Box] MTO Right of Way
- [Dark Grey Box] Mud Mat (50mm - 100 mm aggregate)
- [Light Grey Box] Restoration Area
- [Medium Grey Box] Cedar Hedgerow
- [Hatched Box] Proposed Building Footprint
- [Black Outline Box] Site (0.33 ha) (approximate)

Notes:
 - Base mapping features are © Queen's Printer of Ontario, 2019 (this does not constitute an endorsement by the Ministry of Natural Resources and Forestry or the Ontario Government).
 - Distances on this plan are in metres and can be converted to feet by dividing by 0.3048.
 - Cambium Inc. makes every effort to ensure this map is free from errors but cannot be held responsible for any damages due to error or omissions. This map should not be used for navigation or legal purposes. It is intended for general reference use only.



194 Sophia Street
 Peterborough, Ontario, K9H 1E5
 Tel: (705) 742.7900 Fax: (705) 742.7907
 www.cambium-inc.com

SITE PLAN

Project No.:	12683-001	Date:	February 2023
Scale:	1:2,000	Rev.:	
Created by:	DJL	Projection:	NAD 1983 UTM Zone 17N
Checked by:	MOL	Figure:	2

Site Plan – 129 Douro Ninth Line
Zoning By-law Amendment (McMahon)



Site Plan – 129 Douro Ninth Line
Zoning By-law Amendment (McMahon)



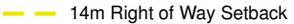
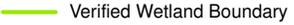
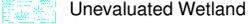
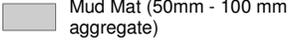
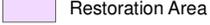
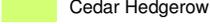
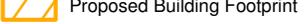
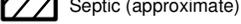
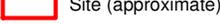
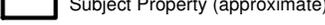


Measurement	Distance (metres)
North Subject Property to Proposed Building Footprint	323.4
South Subject Property to Proposed Building Footprint	599.5
East Subject Property to Proposed Building Footprint	588.8
West Subject Property to Proposed Building Footprint	45.5
14m MTO ROW Setback to Proposed Building Footprint	22.0
Septic to Proposed Building Footprint	26.3
Well to Proposed Building Footprint	70.0
Existing Building to Proposed Building Footprint	17.2

***Note: All distances are from the closest point**

**ENVIRONMENTAL
MANAGEMENT PLAN**
STARFRA FEEDS
153 Douro Ninth Line
Douro-Dummer, Ontario

LEGEND

-  Well (approximate)
-  14m Right of Way Setback
-  Proposed 10m Wetland Setback
-  Sediment Fence
-  Verified Wetland Boundary
-  Pond
-  Unevaluated Wetland
-  Wetland
-  MTO Right of Way
-  Mud Mat (50mm - 100 mm aggregate)
-  Restoration Area
-  Cedar Hedgerow
-  Proposed Building Footprint
-  Septic (approximate)
-  Site (approximate)
-  Subject Property (approximate)

Notes:
 - Base mapping features are © Queen's Printer of Ontario, 2019 (this does not constitute an endorsement by the Ministry of Natural Resources and Forestry or the Ontario Government).
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www.cambium-inc.com

SITE PLAN

Project No.:	12683-001	Date:	February 2023
Scale:	1:2,000	Rev.:	
Created by:	DJL	Projection:	NAD 1983 UTM Zone 17N
Checked by:	MOL	Figure:	2



April 3, 2024

Christina Coulter
Planner
Township of Douro-Dummer
894 South Street, P.O. Box 92, Warsaw
Ontario, K0L 3A0

Dear Christina Coulter,

Re: File: R-08-24, Owner/Applicant: Francis Joseph McMahon and Paul Stephen Gerard McMahon, 129 Douro Ninth Line Part Lots 1 and 2, Concession 9 (Douro Ward)), Township of Douro-Dummer, Roll# 1522-010-004-04700, ORCA File No: PPLD-2306.

The Otonabee Region Conservation Authority (Otonabee Conservation) has received the circulation for a Zoning By-law Amendment for the above noted property on March 22, 2024. Otonabee Conservation staff have reviewed the information in accordance with our mandate and policies and offer the following comments.

The purpose of the above noted application is to rezone a portion of the subject lands from the Rural Zone (RU) to the Special District 258 Zone (S.D. 258). The (S.D. 258) Zone proposes to reduce the minimum exterior side yard requirement from 45 metres to 25 metres to permit the construction of the agricultural storage building.

Otonabee Conservation's interest in this application is three fold:

1. *Otonabee Conservation has reviewed this application through our delegated responsibility from the Province to represent provincial interests regarding natural hazards identified in any policy statement or provincial plan issued under the Planning Act.*

Otonabee Conservation mapping indicates that the proposed development is not located within a known natural hazard. **Therefore, it is the opinion of Otonabee Conservation that**

the application is consistent with Section 3.1 of the Provincial Policy Statement (PPS), referencing Natural Hazards.

- Otonabee Conservation has reviewed the application through a regulatory lens. Ontario Regulation 41/24 and Section 28 of the Conservation Authorities Act prohibits development in areas regulated by the Authority as defined in the regulation. Any development, interference with, or alteration within a flooding hazard, erosion hazard, hazardous lands, watercourse, wetland and/or their adjacent lands/areas of interference requires a permit from the Authority.*

Otonabee Conservation mapping indicates that the lands are partially subject to Ontario Regulation 41/24 Otonabee Conservation's "Prohibited Activities, Exemptions and Permits" regulation. **Permits from this agency may be required prior to any site alteration or construction in those areas regulated by Otonabee Conservation.**

- Otonabee Conservation has reviewed the application to assess the applicability of the Trent Source Protection Plan (SPP) prepared under the Clean Water Act (CWA). The SPP came into effect on January 1, 2015, and contains policies to protect sources of municipal drinking water from existing and future land use activities that pose a significant drinking water threat.*

It was determined that the subject property is not located within a vulnerable area that is subject to SPP policies.

The subject property is located within the vulnerable area(s) listed below. Significant drinking water threats are not possible and a Restricted Land Use Notice is not required.

- Intake Protection Zone 3
- Highly Vulnerable Aquifer

If you have any questions, please do not hesitate to call.

Yours truly,



Marnie Guindon
Marnie Guindon
Planning and Regulations Officer



Township of Douro-Dummer
Notice of Complete Application and Public Meeting
Concerning a proposed Zoning By-law Amendment
Application R-08-24

The meeting will be held in person and electronically

Take Notice that the Council of The Corporation of the Township of Douro-Dummer has received a complete application for Zoning By-law Amendment and will hold a public meeting to consider the proposed amendment to the Township of Douro-Dummer Comprehensive Zoning By-law under Section 34 of the Planning Act, R.S.O., 1990.

Date and Time: **Tuesday, April 16, 2024 at 5:00 p.m.**
Location: Council Chambers of the Municipal Office
894 South Street, Warsaw ON and
Electronic Meeting Site

Public Hearing: The meeting will be held in person and electronically (virtual). Any person wishing to make written and/or oral submissions either in support of or opposition to the proposal must contact the Clerk by email at martinac@dourodummer.on.ca or call 705-652-8392 ext. 210 no later than 9:00 a.m. on the day of the scheduled public hearing. Please indicate if you wish to attend in person or virtually and you will be provided with the applicable instructions for participation.

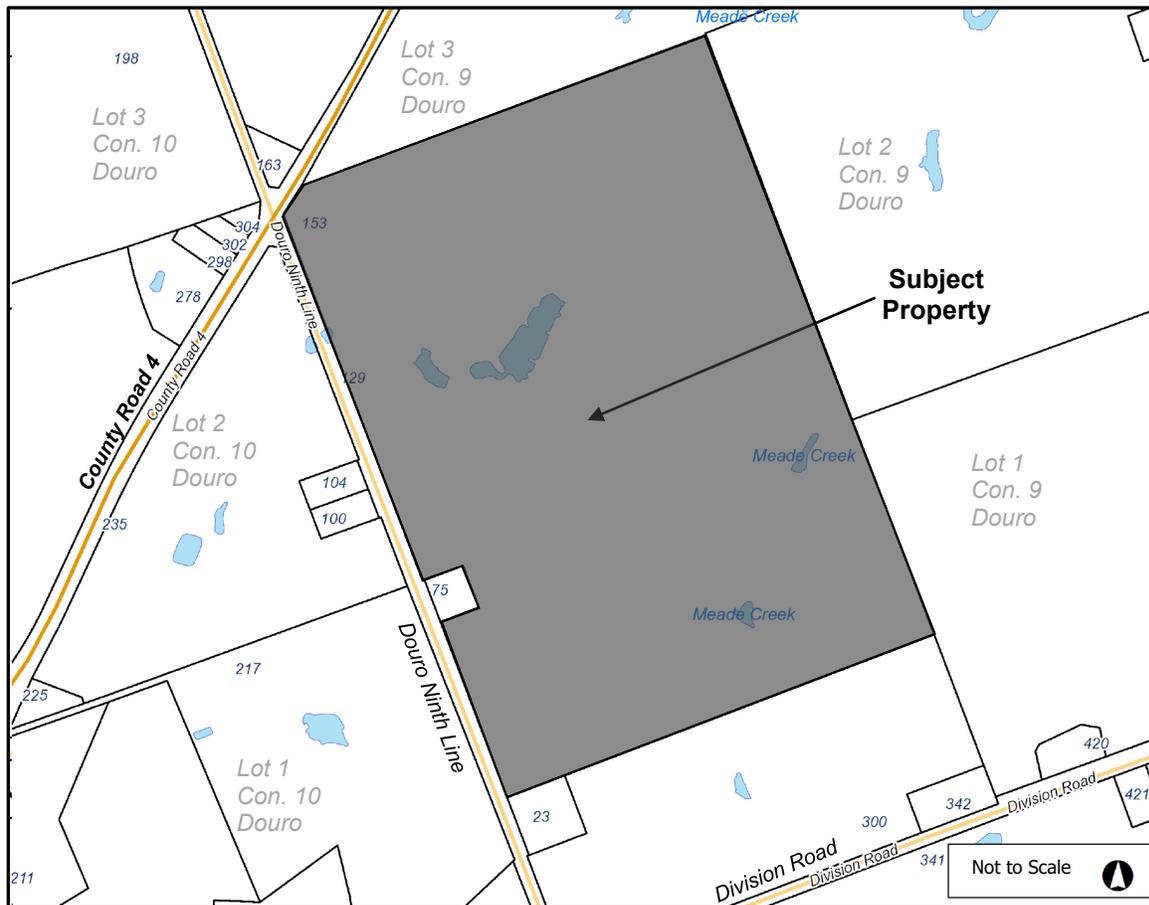
If you wish to view the public meeting in real time, but do not wish to speak to the application, the meeting will be hosted on the [Township's YouTube Channel](#). The meeting will also be recorded and available after the meeting for public viewing on the same platform.

It is the responsibility of the interested member of the public to have technology in place to connect to the meeting.

Legal Description/ Address:	129 Douro Ninth Line Part Lots 1 and 2, Concession 9 (Douro Ward) Roll No.: 1522-010-004-04700 A key map is provided on the next page
Owner/Applicant:	Francis Joseph McMahon and Paul Stephen Gerard McMahon
File Name:	R-08-24

Additional Information relating to the proposed zoning by-law amendment is available by contacting the undersigned or by visiting the Township Website at:
<https://www.dourodummer.ca/modules/news/en>.

Key Map:



Purpose and Effect of Application:

The Owners have applied to amend the existing zoning of a portion of their property known municipally as 129 Douro Ninth Line and more particularly described as Part Lots 1 and 2, Concession 9 in the former Township of Douro, (now the Douro Ward of the Township of Douro-Dummer) in the County of Peterborough.

The subject property is currently zoned the Extractive Industrial Zone (M2), the Environmental Conservation Zone (EC), the Environmental Conservation Provincially Significant Wetland Zone (EC(P)), the Special District 106 Zone (S.D. 106) and the Rural Zone (RU) as illustrated on Schedule A1 to By-law No. 10-1996, as amended.

The Owners obtained a building permit (Permit DD-2023-1068) for the construction of an approximately 1189 square metre agricultural storage building in the Rural Zone (RU) portion of the subject property. An agricultural use is permitted in the (RU) Zone and structures must comply with Section 9.2.1 of By-law No. 10-1996, as amended. Specifically, Section 9.2.1.1 (c) requires a minimum exterior side yard of 45 metres. During construction, the Building Department became aware that the agricultural building was deficient in the required yard setback and was encroaching into the exterior side yard by approximately 19 metres.

The effect of the Amendment is to rezone a portion of the subject lands from the Rural Zone (RU) to the Special District 258 Zone (S.D. 258). The (S.D. 258) Zone proposes to reduce the minimum exterior side yard requirement from 45 metres to 25 metres to permit the construction of the agricultural storage building. All other applicable zones and provisions of By-law No. 10-1996, as amended will continue to apply.

Accessibility: If you have accessibility needs and require alternative formats or other accommodations, please contact the undersigned.

Notification: If you wish to be notified of the decision of the Council of the Township of Douro-Dummer on the proposed zoning by-law amendment, you must make a written request to the Clerk of the Township of Douro-Dummer using the contact information provided below.

The Right to Appeal

If a person or public body would otherwise have an ability to appeal the decision of the Township of Douro-Dummer to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Douro-Dummer before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting, or make written submissions to the Township of Douro-Dummer before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

Privacy Disclosure: All written submissions, documents, correspondence, e-mails or other communications (including your name and address) are collected under the authority of the *Planning Act* and become part of the public record and may be made available for public viewing or distribution. Please note that by submitting any of this information, you are providing the Township with your consent to use and disclose this information as part of the planning process.

Dated this 22nd day of March, 2024 at the Township of Douro-Dummer.

Martina Chait-Hartwig
Clerk
705-652-8392 Ext. 210
martinac@dourodummer.on.ca

Christina Coulter
Planner
705-652-8392 Ext. 226
christinac@dourodummer.on.ca

The Corporation of the Township of Douro-Dummer

By-law Number 2024-XX

Being a By-law to amend By-law Number 10-1996, as amended, otherwise known as "The Township of Douro-Dummer Comprehensive Zoning By-law"

Whereas By-law Number 10-1996, as amended, regulates the use of land and the use and erection of buildings and structures within the Township of Douro-Dummer;

And Whereas Section 34 of The Planning Act, RSO 1990, as amended, permits the Council to pass an amending Zoning By-law;

And Whereas the Council of the Township of Douro-Dummer deems it advisable to further amend By-law No. 10-1996 as amended;

Now Therefore the Council of the Township of Douro-Dummer hereby enacts as follows:

1. Schedule A1 to By-law No. 10-1996, as amended, is hereby further amended by changing the zone category on a portion of lands known municipally as 129 Douro Ninth Line and more particularly described as Part Lots 1 and 2, Concession 9 (Douro Ward) from the Rural Zone (RU) to the Special District 258 Zone (S.D. 258) as shown on Schedule "1" attached hereto and forming part of this By-law.
2. Section 21 Special Districts is amended by the addition of subsection "21.258 Special District 258 Zone (S.D. 258)" immediately following subsection 21.257 Special District 257 Zone (S.D. 257)" which shall read as follows:

21.258 Special District 258 Zone (S.D. 258) – Roll No. 1522-010-004-04700

No person shall within any Special District 258 Zone (S.D. 258) use any land, or erect, alter or use any building or structure except in accordance with the following provisions:

21.258.1 Permitted Uses

21.258.1.1 All uses permitted in Section 9.1 of the Rural Zone (RU) of By-law 10-1996, as amended.

21.258.2 Regulations for Permitted Uses

All regulations of Section 9.2 of the Rural Zone (RU) of By-law 10-1996, as amended, shall apply with the following exceptions:

- a) Minimum Exterior Side Yard for the farm building identified as "proposed building footprint" on the Site Plan prepared by Cambium dated February 2023 and attached as Schedule "2" hereto and forming part of this By-law

25 m

- b) All provisions of Section 3, General Zone Provisions of By-law 10-1996, as amended, as they apply to the use of any land, buildings or structures permitted in the Special District 258 Zone (S.D. 258) shall apply and be complied with.

3. All other relevant provisions of By-law 10-1996, as amended, shall apply.

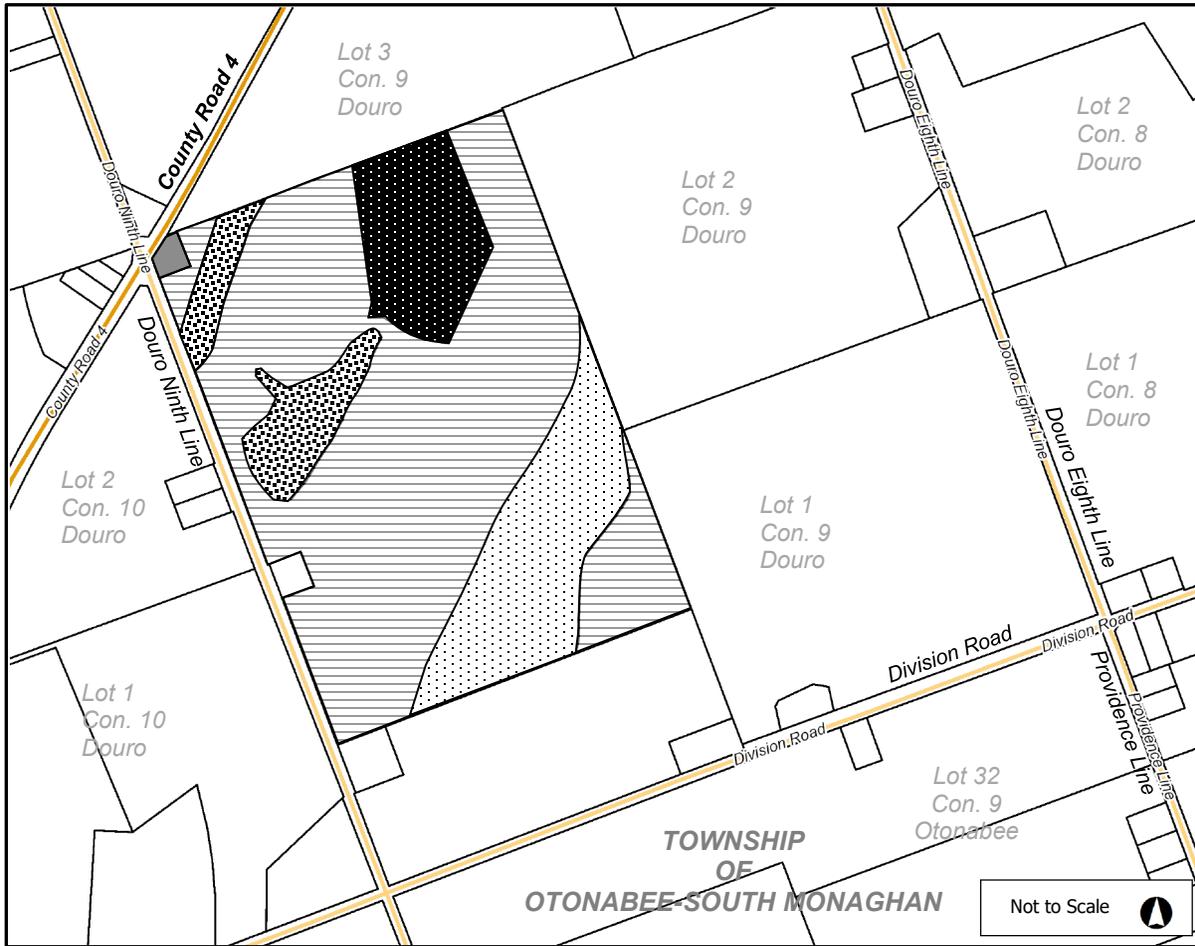
If no notice of objection is filed with the Clerk within the time provided, this By-law shall become effective on the date of passing hereof, subject to the provisions of The Planning Act, RSO 1990, as amended.

Passed in Open Council this XXth day of XXXXX, 2024.

Mayor, Heather Watson

Clerk, Martina Chait-Hartwig

Schedule "1" to By-law 2024-XX

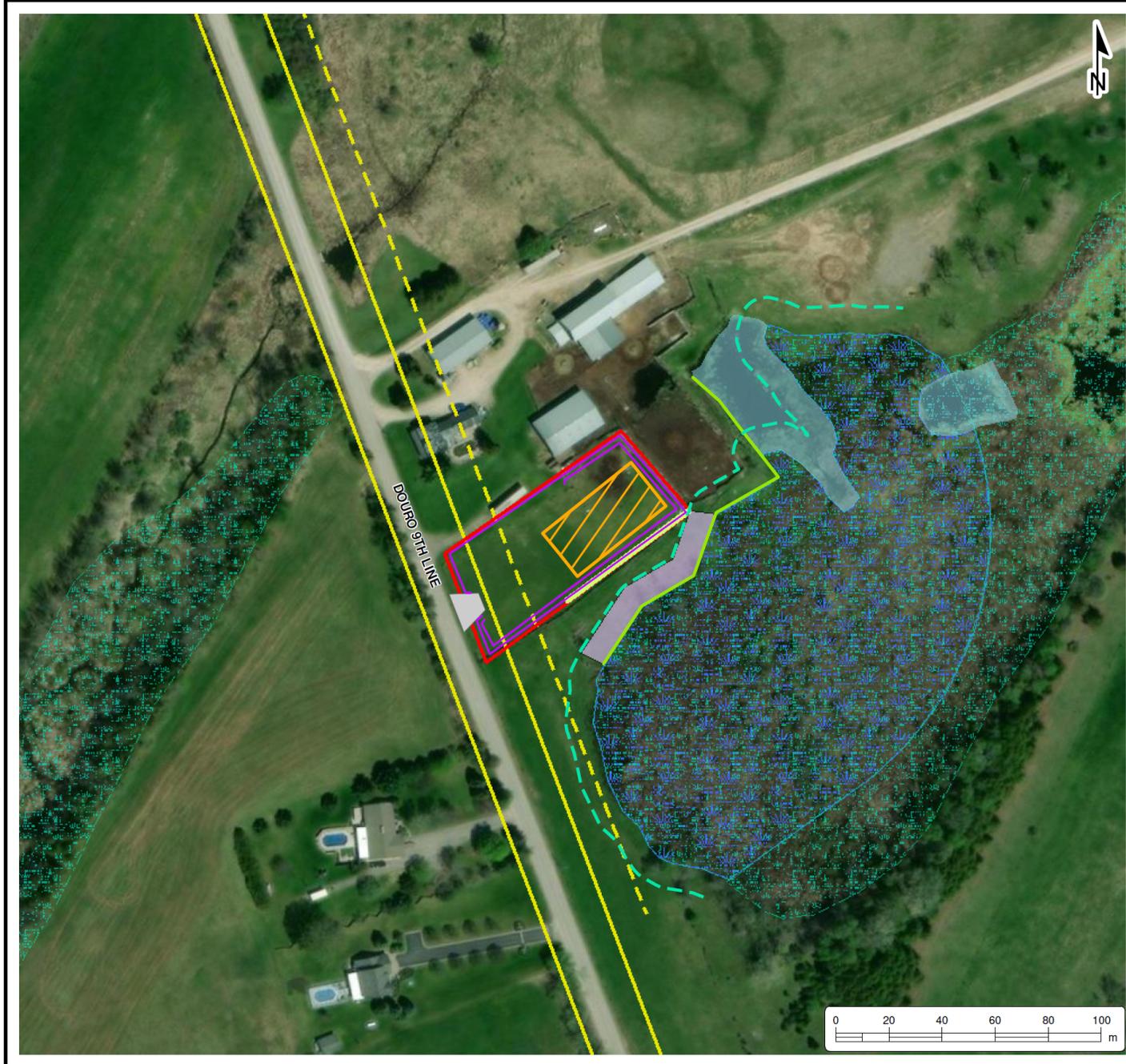


-  **Rezone from the 'Rural Zone (RU)' to the 'Special District 258 Zone (S.D. 258)'**
-  **Area to remain zoned 'Extractive Industrial Zone (M2)'**
-  **Area to remain zoned 'Environmental Conservation Provincially Significant Wetland Zone (EC(P))'**
-  **Area to remain zoned 'Environmental Conservation Zone (EC)'**
-  **Area to remain zoned 'Special District 106 Zone (S.D. 106)'**

This is Schedule '1' to By-law No. 2024-XX passed this XXth day of XXXXX, 2024.

 Mayor, Heather Watson

 Clerk, Martina Chait-Hartwig



**ENVIRONMENTAL
MANAGEMENT PLAN**
STARFIRA FEEDS
153 Douro Ninth Line
Douro-Dummer, Ontario

- LEGEND**
- 14m Right of Way Setback
 - Proposed 10m Wetland Setback
 - Sediment Fence
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194 Sophia Street
Peterborough, Ontario, K9H 1E5
Tel: (705) 742.7900 Fax: (705) 742.7907
www.cambium-inc.com

SITE PLAN

Project No.: 12683-001	Date: February 2023
Scale: 1:2,000	Projection: NAD 1983 UTM Zone 17N
Created by: DJL	Checked by: MOL
Figure: 2	

Mayor, Heather Watson

Clerk, Martina Chait-Hartwig

C:\GIS\MDC\12683-001\Starfira Feeds - MPE - 153 Douro Ninth Line, Douro-Dummer\2023-02-07 FIG.2 - Site Plan.mxd



Environmental

Geotechnical

Building Sciences

Construction Quality
Verification

Telephone

(866) 217.7900
(705) 742.7900

Facsimile

(705) 742.7907

Website

cambium-inc.com

Mailing Address

P.O. Box 325,
Peterborough, Ontario
Canada, K9J 6Z3

Locations

Peterborough
Kingston
Barrie
Oshawa

Laboratory

Peterborough



March 9, 2023

Paul McMahon
153 Ninth Line Road,
Douro-Dummer, ON

Attn: Paul McMahon
Sent via email: paulmcmahon@xplornet.com

Re: Environmental Management Plan at 153 Ninth Line Road, Douro-Dummer, Ontario
Cambium Reference: 12683-001

Dear Paul McMahon,

Cambium Inc. (Cambium) is pleased to provide Paul McMahon (the Client) with the following Environmental Management Plan (EMP) for the proposed construction of an accessory storage structure at 153 Ninth Line Road, Douro-Dummer, Ontario (Figure 1; the Site). This EMP was prepared as part of an Otonabee Region Conservation Authority (ORCA) permit submission for the proposed development. The EMP includes details on the following plans to satisfy ORCA permit requirements:

- Work Sequencing Plan
- Erosion and Sediment Control Plan
- Planting Plan
- Monitoring Plan
- Construction Plan
- Site Plan

BACKGROUND

The Client is proposing to construct an accessory storage building adjacent to the existing buildings at 153 Douro Ninth Line, Douro-Dummer, Peterborough County, Ontario (Appendix A). The proposed work is located approximately 40 m south of the existing dwelling and accessory structures. An Environmental Impact Study (EIS) was completed by Cambium in 2022. The EIS demonstrated that the



Environmental

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Mailing Address

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Barrie
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Laboratory

Peterborough



March 9, 2023

proposed activities were outside of the adjacent wetland area and that potential negative impacts can be appropriately mitigated. A Site Plan has been developed that incorporates the appropriate setbacks, as per recommendations in the EIS (Figure 2). This EMP provides additional details recommended within the EIS, as well as to address requests by ORCA to support the application.

WORK SEQUENCING PLAN

The intent of the Work Sequencing Plan (WSP) is to ensure construction activities conform to the recommendations provided in the Environmental Impact Study (Cambium, 2022). The WSP was developed to mitigate against potential impacts to the adjacent natural heritage features, including wetland and wildlife habitat.

In order to mitigate for disturbances to grassland birds, construction activities are to be completed outside of the breeding bird season, which extends from April 1 to August 30 of any given year. Assuming that the proposed development area is disturbed (cleared of vegetation) prior to April 1, interactions with grassland birds are not expected and construction within the construction area can continue throughout this period.

Prior to any mobilization or ground disturbances, associated erosion and sediment control (ESC) shall be properly installed as per the design in Figure 3.

EROSION AND SEDIMENT CONTROL PLAN

Prior to any mobilization or ground disturbances, associated erosion and sediment control (ESC) shall be properly installed as per the design in Figure 3. Once ESC is installed, an inspection should be completed to ensure that ESC are installed correctly. Mobilization and construction activities may occur after the ESC inspection is complete. ESC measures shall remain in place until soil is stabilized with vegetation growth. All ESC is to be removed once sufficient (>80%) vegetation growth is established and/or after construction is complete.

Sediment fencing shall be properly installed around the perimeter of the construction area, with double-walled sediment fencing installed along the south,



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east, and north Site boundaries (Figure 3). The double-walled sediment fencing shall be placed 0.5 m from each other and is designed to add additional protection to adjacent wetland areas.

A mud mat, consisting of 50 – 100 mm aggregate should be installed at the entrance/exit to the construction area to collect sediment from equipment entering and leaving the Site.

Long-term ESC are described in the Planting Plan, detailed herein.

Ontario Provincial Standard Drawings for the proposed ESC are described in Appendix B.

PLANTING PLAN

Current Site Conditions

According to the EIS, the area in which the proposed construction is to occur consists of an open pasture community, with active cattle disturbances observed throughout (Cambium, 2022). The area is adjacent to constructed agricultural ponds to the northeast and a wetland area to the east. The wetland is provided a 10 m setback as per the EIS, in which development is not to occur.

Planting Plan

The goal of this Planting Plan is to establish natural vegetative growth after construction to stabilize the soils and improve the ecological function of setback area between the wetland and the development area. Improvements made within the setback area will also provide additional habitat for wildlife. The Planting Plan follows the recommendations made within the EIS and additional best management practices to mitigate for potential erosion and sediment concerns (Cambium, 2022).

A 10 m wetland setback is recommended for the adjacent to unevaluated wetland, as shown in Figure 2. To supplement the function of the 10 m setback, Cambium recommends that additional enhancement measures be incorporated in the site plans. At minimum, Cambium recommends enhancement plantings at a 1:1 ratio to provide additional mitigation measures to the wetland community



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(0.07 ha total). This replanting should be completed within the 10 m wetland buffer and should be completed directly adjacent to the proposed building footprint, as shown in Figure 2. Species to be considered include Red-osier Dogwood (*Cornus sericea*), White Elm (*Ulmus americana*), Willow species (*Salix spp.*), Spotted Jewelweed (*Impatiens capensis*), and Swamp Milkweed (*Asclepias incarnata*).

Cambium also recommends an Eastern White Cedar hedgerow to be established along the southern fence line of the developable area (Figure 2). The hedgerow will provide additional protection from development and future activities for the wetland feature and will also provide a barrier for any potential future development within the 10 m wetland setback.

Areas that were disturbed within the developable area should be stabilized with vegetation immediately after construction. Cambium recommends seeding the area with an appropriate grass mixture such as the Ontario Seed Company Rural Ontario Roadside Mix, or if the area is to be maintained as a lawn, appropriate sod or grass seed installation should occur. Application rates should be applied as per manufacturers specifications. Vegetation growth must be greater than 80% in order to be considered stabilized and ESC measures should remain until 80% vegetation growth is observed.

Site Preparation

Prior to mobilization or vegetation clearing, ESC measures will be installed. During the installation of ESC measures and planting activities, there is the potential for soil compaction due to heavy equipment access to the area. Soil compaction can prevent the establishment of vegetation by impeding root growth. Compaction can also reduce the infiltration of water, increasing the potential for erosion and sedimentation. As such, it is recommended that heavy equipment traffic be limited within the planting area to the extent possible. Further, the soil surfaces within the areas designated for revegetation should be made rough and loose where possible. This can be accomplished by ploughing the planting area. This method will provide soil depths of at least 25 cm that are generally tolerable for most tree species (OMAFRA, 2008).



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MONITORING PLAN

It is recommended that an adaptive monitoring plan be implemented to ensure the ESC measures and Planting Plan are effective. Monitoring should be completed by a qualified professional.

ESC measures should be inspected after installation to ensure that proper installation occurred as per the ESC Plan (Figure 3). ESC measures should be inspected by the Client at a minimum of weekly intervals and after significant precipitation events (>12 mm within 24 hours). ESC measures that are observed to be in disrepair should be repaired within 24 hours. All ESC measures should be maintained throughout the duration of the project to ensure efficacy.

The replanting area should be monitored once a year for two growing seasons after installation to ensure plantings have established and to determine the need for replacement plantings, if necessary. An 80% survival rate for planted trees and shrubs should be obtained. Replacement plantings should be completed after two years to bring the total number of living plants to 80%, ensuring survival is spread between trees and shrubs. Given the local seed source available from adjacent wetland areas, it is anticipated that other native species will establish on their own within the buffer.

The buffer enhancement area should also be monitored for the presence of invasive species to prevent competition with the intentional plantings. Should invasive species be found, recommendations regarding methods for removal and management will be provided. Monitoring results should be reported to ORCA at the end of each of the two growing seasons.

Plant Material Suppliers

Below is a list of potential suppliers – these are provided as guidance only and other sources of native stock can be used. This list is not in priority or preference basis.

Trees and Shrubs:

- Richardson’s Pineneedle Farms: Pontypool, ON: 705.277.9993



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- Kobes Nursery: Bowmanville, ON: 905.263.8814
- Uxbridge Nurseries: Brooklin, ON: 905.655.3379

Seed Mixtures:

- Ontario Seed Company: Kitchener, ON: 226.210.3704

Note: Seed mixture species composition and pricing can be viewed online at: www.oscseeds.com (Search via OSC Product Number).

SUMMARY OF RECOMMENDATIONS

1. Construction activities are to be completed outside of the breeding bird season, which extends from April 1 to August 30 of any given year. Assuming that the proposed development area is disturbed (cleared of vegetation) prior to April 1, interactions with grassland birds are not expected and construction within the construction area can continue throughout this period.
2. Prior to any mobilization or ground disturbances, associated erosion and sediment control (ESC) shall be properly installed as per the design in Figure 3.
3. ESC measures should be inspected after installation to ensure that proper installation occurred as per the ESC Plan (Figure 3). ESC measures should be inspected by the Client at a minimum of weekly intervals and after significant precipitation events (>12 mm within 24 hours).
4. All ESC is to be removed once sufficient (>80%) vegetation growth is established and/or after construction is complete.
5. Cambium recommends enhancement plantings at a 1:1 ratio to provide additional mitigation measures to the wetland setback area (0.07 ha total). This replanting should be completed within the 10 m wetland buffer and should be completed directly adjacent to the proposed building footprint, as shown in Figure 2.



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6. Cambium also recommends an Eastern White Cedar hedgerow to be established along the southern fence line of the developable area (Figure 2).
7. Areas that were disturbed within the developable area should be stabilized with vegetation immediately after construction. Cambium recommends seeding the area with an appropriate grass mixture such as the Ontario Seed Company Rural Ontario Roadside Mix, or if the area is to be maintained as a lawn, appropriate sod or grass seed installation should occur.
8. It is recommended that heavy equipment traffic be limited within the planting area to the extent possible. Further, the soil surfaces within the areas designated for revegetation should be made rough and loose where possible. This can be accomplished by ploughing the planting area. This method will provide soil depths of at least 25 cm that are generally tolerable for most tree species (OMAFRA, 2008).
9. The replanting area should be monitored once a year for two growing seasons after installation to ensure plantings have established and to determine the need for replacement plantings, if necessary. An 80% survival rate for planted trees and shrubs should be obtained. Replacement plantings should be completed after two years to bring the total number of living plants to 80%, ensuring survival is spread between trees and shrubs. The buffer enhancement area should also be monitored for the presence of invasive species to prevent competition with the intentional plantings. Should invasive species be found, recommendations regarding methods for removal and management will be provided. Monitoring results should be reported to ORCA at the end of each of the two growing seasons.

CLOSING

Cambium trusts that this Environmental Management Plan meets ORCA's requirements for the associated permitting required to complete the proposed



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March 9, 2023

development. Should any of the involved parties have any questions or require clarification on any aspect of this submission, please do not hesitate to contact the undersigned at (705) 742-7900.

Best regards,

Cambium Inc.

Myles Latter, B.A. Hons., Dipl., C.E.T.,
 CAN-CISEC
 Project Coordinator

Camden Jerney, B.Sc., CAN-CISEC
 Project Manager/Senior Ecologist

MOL/cj

P:\12600 to 12699\12683-001 Starfra Feeds - NHE - 153 Douro Ninth Line, Douro-Dummer\Deliverables\EMP\2023-03-09 LTR EMP - 153 Ninth Line, Douro-Dummer.docx

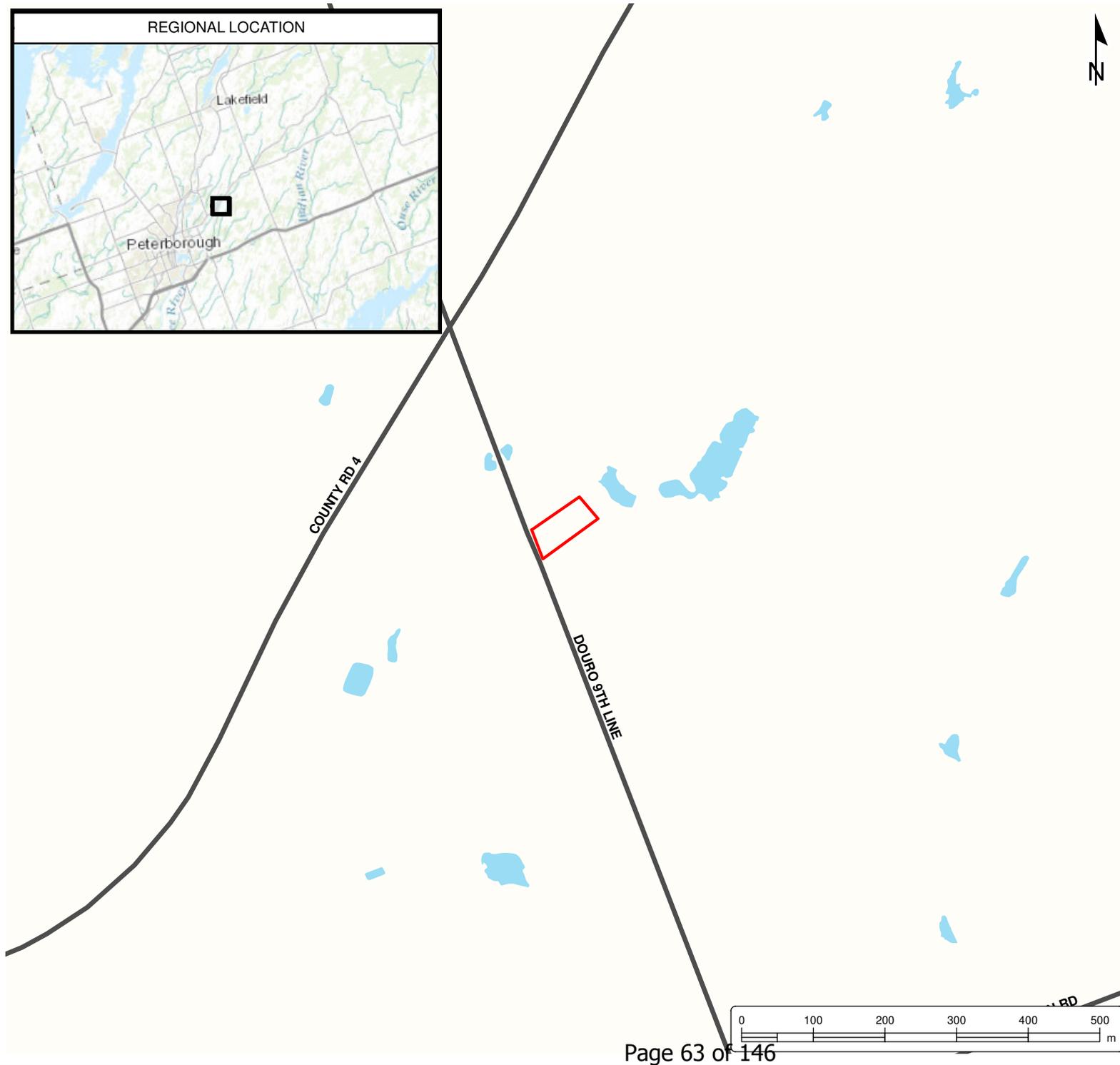
REGIONAL LOCATION



**ENVIRONMENTAL
MANAGEMENT PLAN**
STARFRA FEEDS
153 Douro Ninth Line
Douro-Dummer, Ontario

LEGEND

-  Major Road
-  Water Area
-  Site (approximate 0.3 ha.)



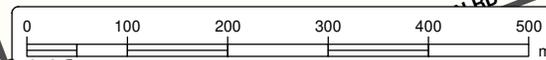
Notes:
 - Base mapping features are © Queen's Printer of Ontario, 2019 (this does not constitute an endorsement by the Ministry of Natural Resources and Forestry or the Ontario Government).
 - Distances on this plan are in metres and can be converted to feet by dividing by 0.3048.
 - Cambium Inc. makes every effort to ensure this map is free from errors but cannot be held responsible for any damages due to error or omissions. This map should not be used for navigation or legal purposes. It is intended for general reference use only.



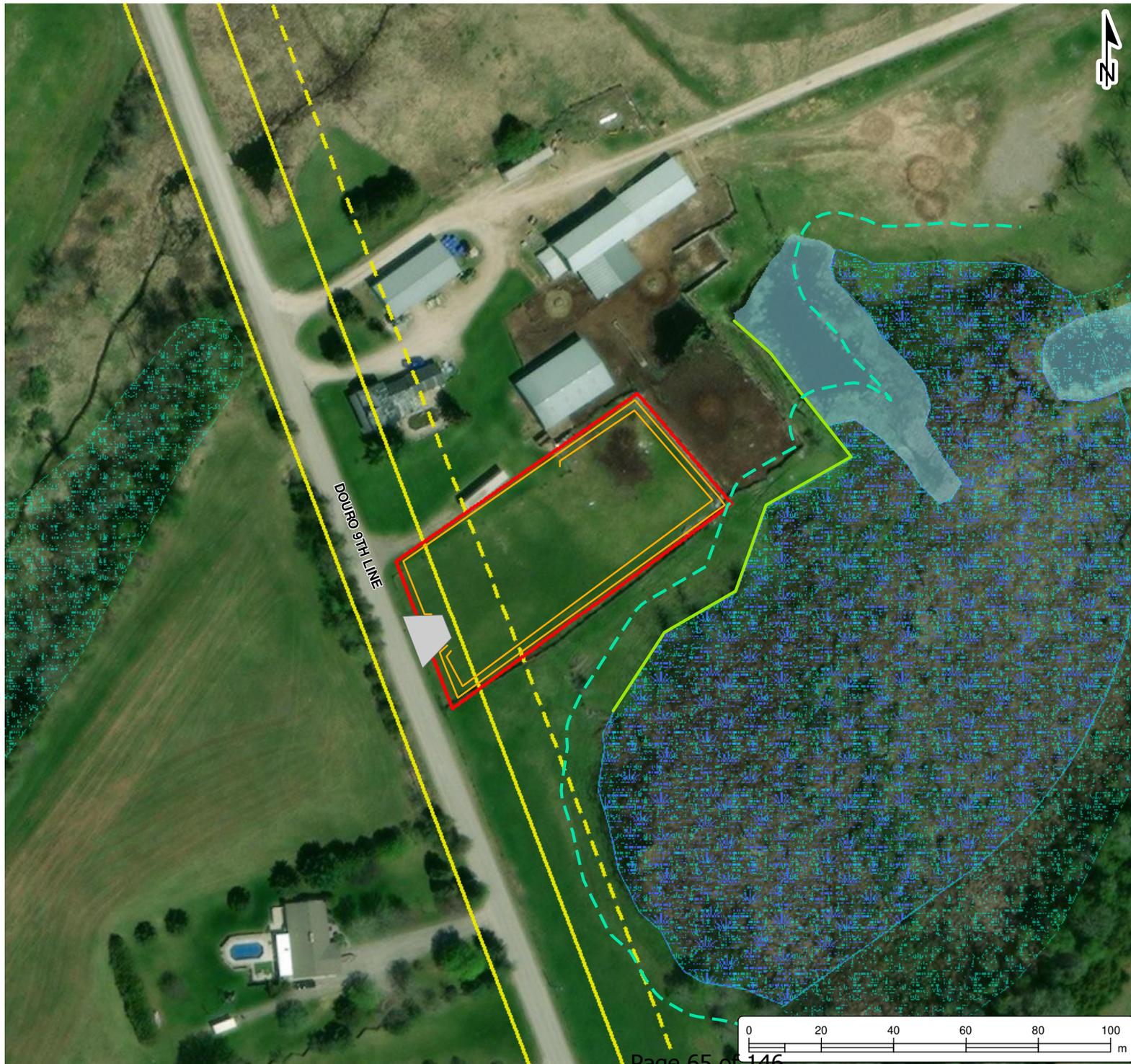
194 Sophia Street
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 www.cambium-inc.com

SITE LOCATION

Project No.:	12683-001	Date:	February 2023
Scale:	1:7,500	Rev.:	
Created by:	DJL	Projection:	NAD 1983 UTM Zone 17N
Checked by:	MOL	Figure:	1



O:\GIS\XDO\172600-1269\12693-001 Starfra Feeds - NHE - 153 Douro Ninth Line, Douro-Dummer\2023-02-07 FIG 3 - Erosion and Sediment Control Plan.mxd



**ENVIRONMENTAL
MANAGEMENT PLAN**
STARFRA FEEDS
153 Douro Ninth Line
Douro-Dummer, Ontario

LEGEND

- 14m Right of Way Setback
- Proposed 10m Wetland Setback
- Sediment Fence
- Verified Wetland Boundary
- Pond
- Unevaluated Wetland
- Wetland
- MTO Right of Way
- Mud Mat (50mm - 100 mm aggregate)
- Site (0.33 ha) (approximate)

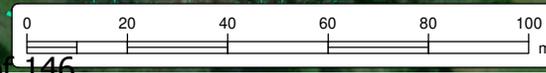
Notes:
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**EROSION AND
SEDIMENT CONTROL
PLAN**

Project No.:	12683-001	Date:	February 2023
Scale:	1:1,500	Rev.:	
Created by:	DJL	Projection:	NAD 1983 UTM Zone 17N
Checked by:	MOL	Figure:	3



O:\GIS\XDO\172600-1269\12693-001 Starfra Feeds - NHE - 153 Douro Ninth Line, Douro-Dummer\2023-02-07 FIG 4 - Planting Plan.mxd



**ENVIRONMENTAL
MANAGEMENT PLAN**
STARFRA FEEDS
153 Douro Ninth Line
Douro-Dummer, Ontario

LEGEND

- 14m Right of Way Setback
- Proposed 10m Wetland Setback
- Verified Wetland Boundary
- Pond
- Unevaluated Wetland
- Wetland
- MTO Right of Way
- Restoration Area
- Cedar Hedgerow
- Site (0.33 ha) (approximate)

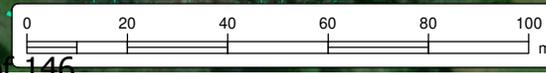
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PLANTING PLAN

Project No.:	12683-001	Date:	February 2023
Scale:	1:1,500	Rev.:	
Created by:	DJL	Projection:	NAD 1983 UTM Zone 17N
Checked by:	MOL	Figure:	4





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Appendix A

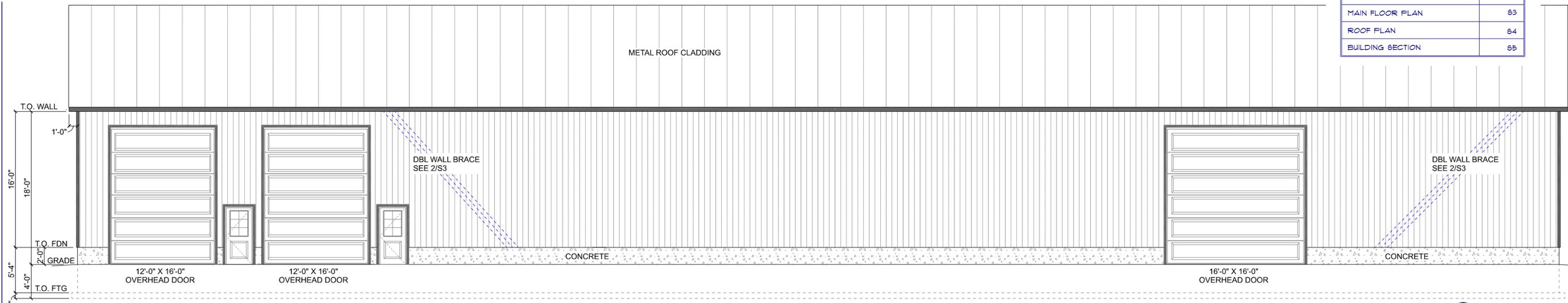
Construction Plan



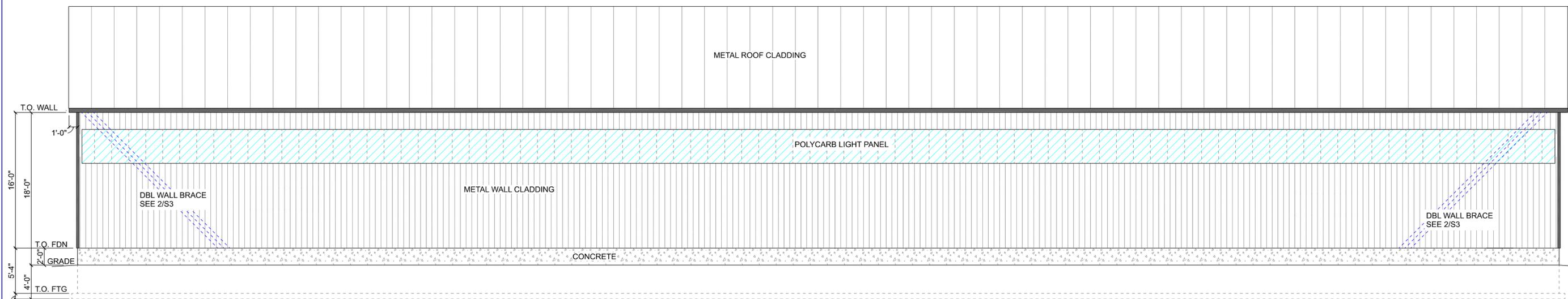


70'-0" X 174'-0" FARM STORAGE BUILDING for PAUL McMAHON

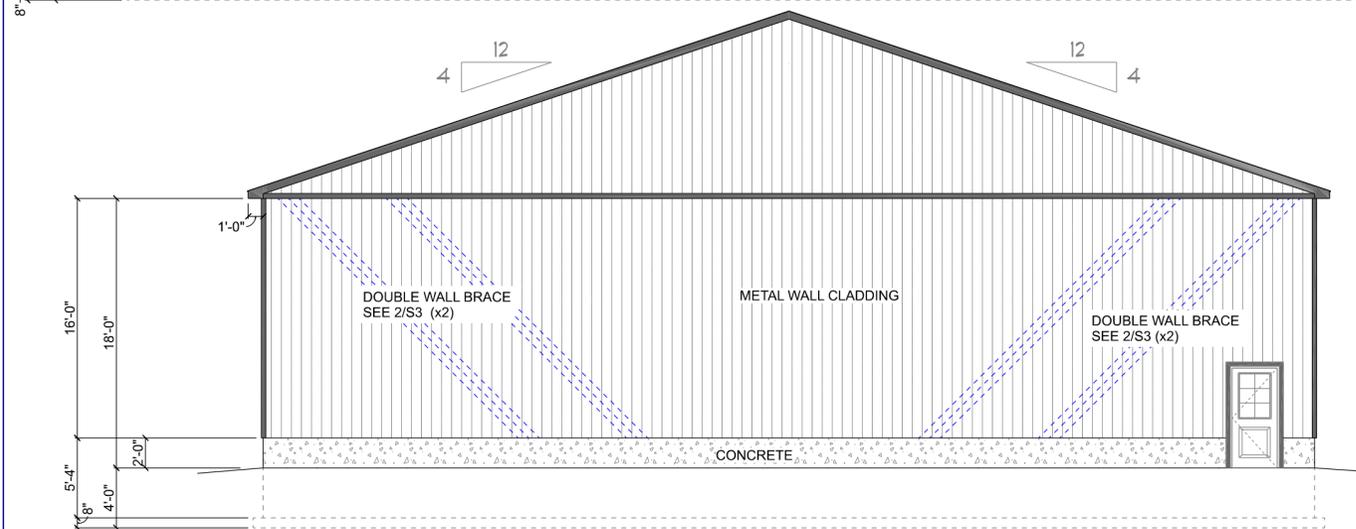
DRAWING NAME	PAGE
COVER PAGE, ALL ELEVATIONS	S1
FOUNDATION PLAN	S2
MAIN FLOOR PLAN	S3
ROOF PLAN	S4
BUILDING SECTION	S5



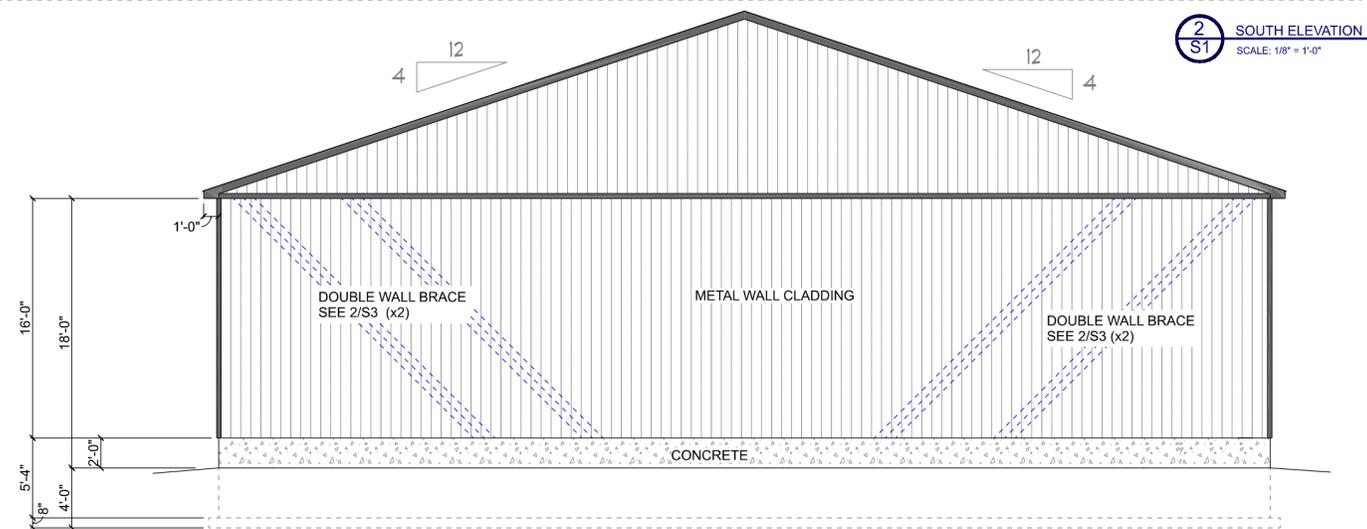
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"

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AUG 25, 2022	ISSUED FOR PERMIT
OCT 17, 2022	DOOR LOCATION CHANGES

44681 Gough Road, RR 2 Gorrie, Ontario
N0G 1X0 Phone: 1-877-366-4650
DESIGNER INFORMATION:
Peter Dyck 103 800

ALL CONSTRUCTION IS TO CONFORM TO THE ONTARIO BUILDING CODE, LATEST EDITION

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED IN UNCERTAINTY.

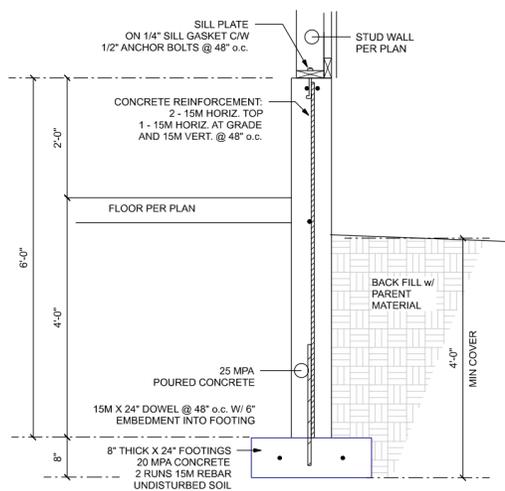
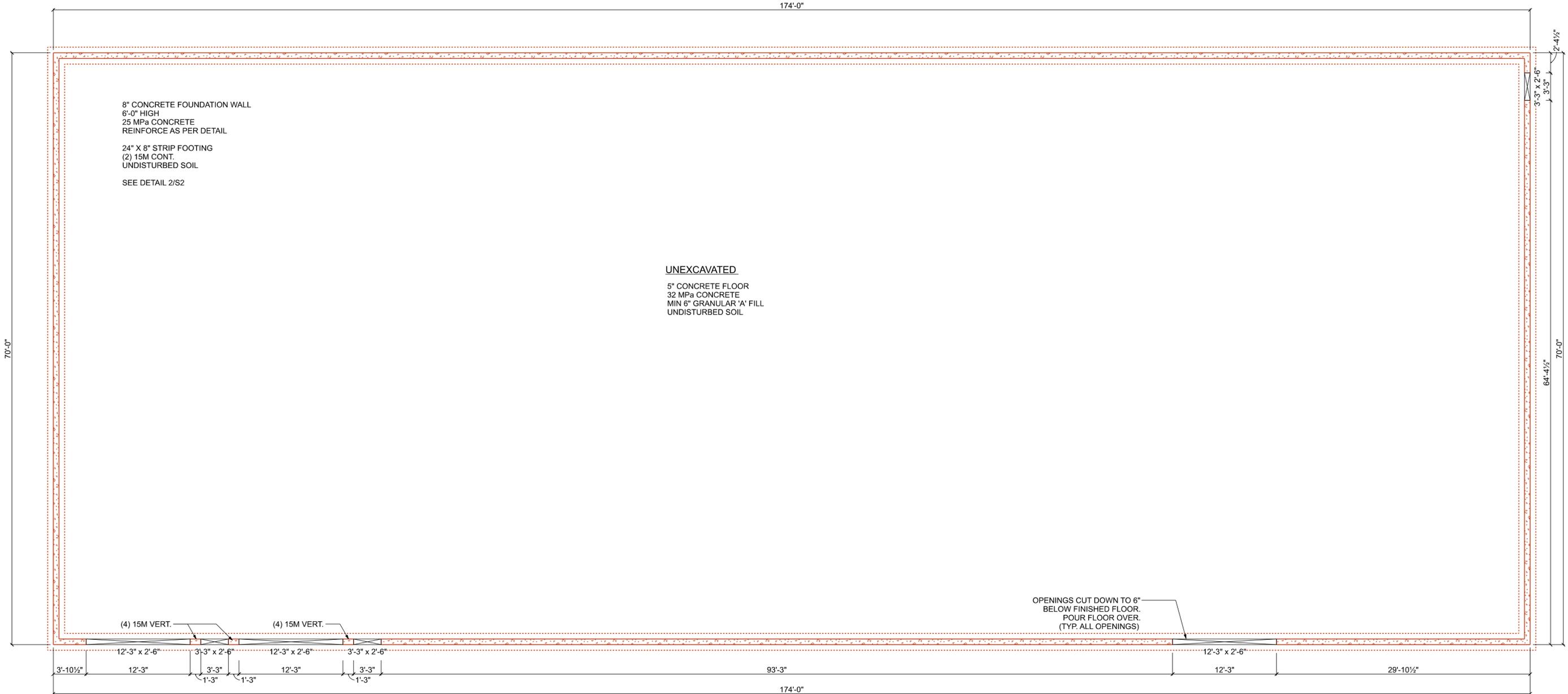
S. DESROCHES
10022482
October 17 2022
PROVINCE OF ONTARIO

PROJECT # 22-09-061

WADDELL ENGINEERING LTD.
119 PINESUSH RD. CAMBRIDGE ON
PH. 519-267-6789
FAX. 1-866-388-9659
INFO@WADDELLENG.COM

Client	STARFRA FEEDS	Drawing	ALL ELEVATIONS
Project Title	70'-0" X 174'-0" FARM STORAGE BUILDING	Scale	1/8" = 1'-0"
	129 9th LINE DOURO, ON	Date	FEB. 4, 2022
		Drawn By	R. WARKENTIN
		Proj. #	2686

S1



2 FOUNDATION DETAIL
SCALE: 1/2" = 1'-0"

1 FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

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N0G 1X0 Phone: 1-877-366-4650
DESIGNER INFORMATION:
Peter Dyck 103 800

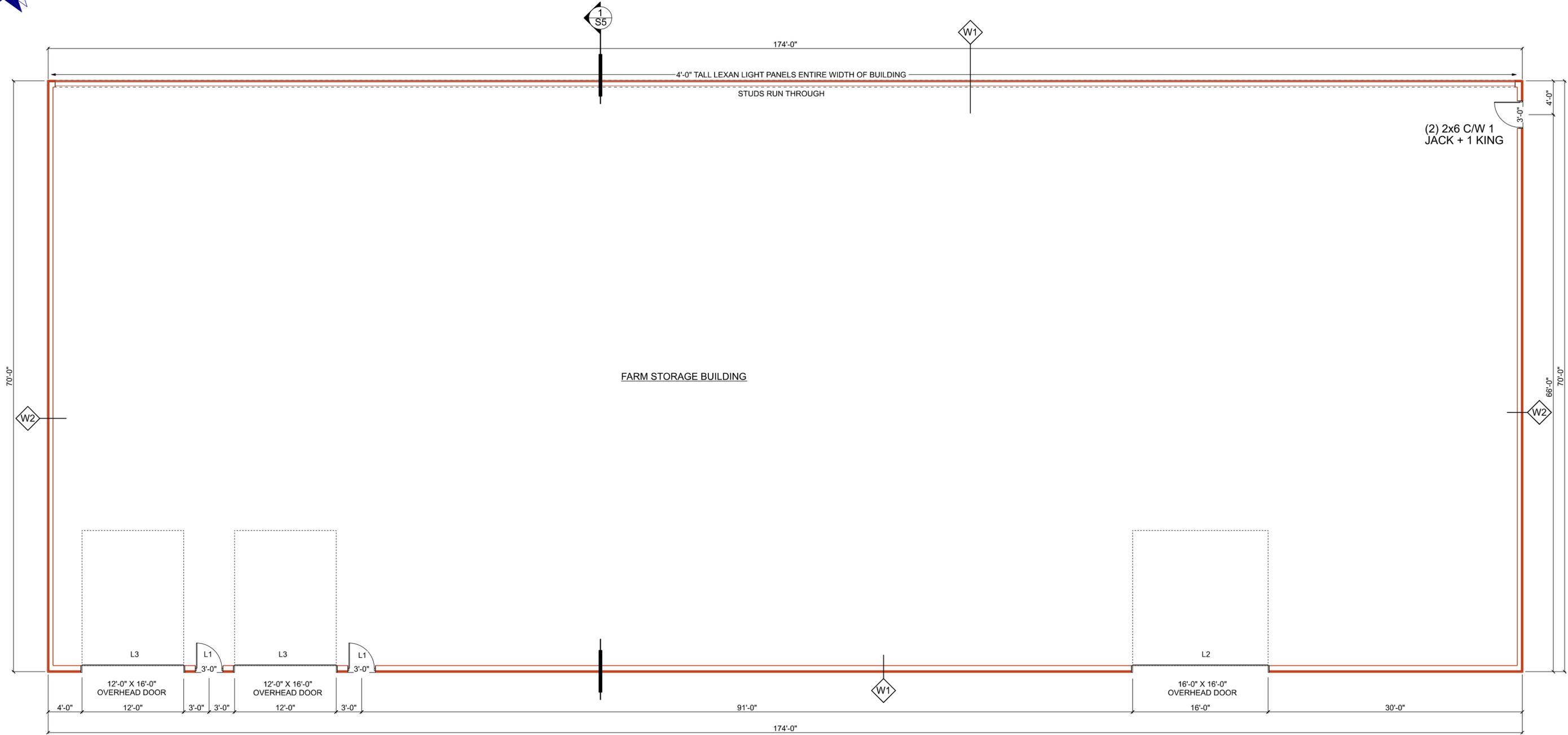
ALL CONSTRUCTION IS TO CONFORM TO THE ONTARIO BUILDING CODE, LATEST EDITION

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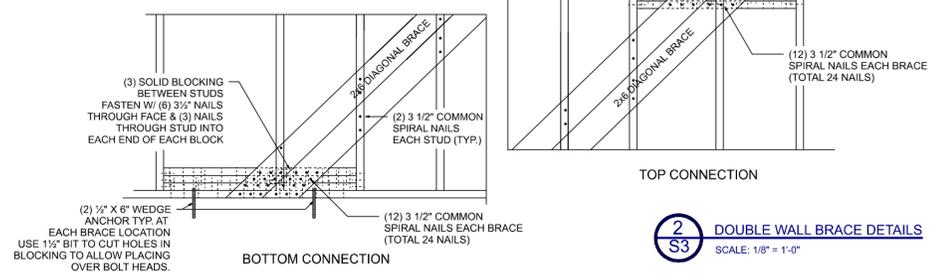
PROJECT # 22-09-061
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PH. 519-267-6789
FAX. 1-866-388-9659
INFO@WADDELENG.COM

Client	STARFRA FEEDS		Drawing	FOUNDATION PLAN	
Project Title	70'-0" X 174'-0" FARM STORAGE BUILDING		Scale	1/8" = 1'-0"	
	129 9th LINE DOURO, ON		Date	FEB. 4, 2022	
			Drawn By	R. WARKENTIN	
			Proj. #	2686	

S2



NOTES:
 1. 2x6 BRACE IS TO BE CONTINUOUS AND END AT STUD CONNECTION TO PLATE.
 2. DO NOT NOTCH BRACES INTO STUDS.
 3. INSTALL BRACES AT APPROXIMATELY 45 DEG ANGLES.
 4. MIN. NAIL SPACING 1-1/4".



2 S3 DOUBLE WALL BRACE DETAILS
 SCALE: 1/8" = 1'-0"

FRAMED WALL SCHEDULE:

- W1 2X8 EXTERIOR FRAMED WALL:
 29 ga. METAL CLADDING
 2X4 STRAPPING @ 24" O.C.
 2X8 STUDS @ 24" O.C.
 BLOCKING @ 48" O.C.
 BRACING AS PER ELEVATIONS
- W2 2X6 EXTERIOR FRAMED WALL:
 29 ga. METAL CLADDING
 2X4 STRAPPING @ 24" O.C.
 2X6 STUDS @ 24" O.C.
 BLOCKING @ 48" O.C.
 BRACING AS PER ELEVATIONS

LINTEL SCHEDULE:

- L1 = (3) 2X10 LINTEL C/W
 1 STUD BEARING & 1 STUD KING
- L2 = W8X18 STEEL BEAM C/W
 3 STUDS BEARING & 2 STUDS KING
 SEE DETAIL 2/S5
- L3 = W10X22 STEEL BEAM C/W
 3 STUDS BEARING & 3 STUDS KING
 SEE DETAIL 2/S5

1 S3 MAIN FLOOR PLAN
 SCALE: 1/8" = 1'-0"

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AUG 25, 2022	ISSUED FOR PERMIT
OCT 17, 2022	DOOR LOCATION CHANGES

44681 Gough Road, RR 2 Gorrie, Ontario
 N0G 1X0 Phone: 1-877-366-4650
DESIGNER INFORMATION:
 Peter Dyck 103 800

ALL CONSTRUCTION IS TO CONFORM TO THE ONTARIO BUILDING CODE, LATEST EDITION

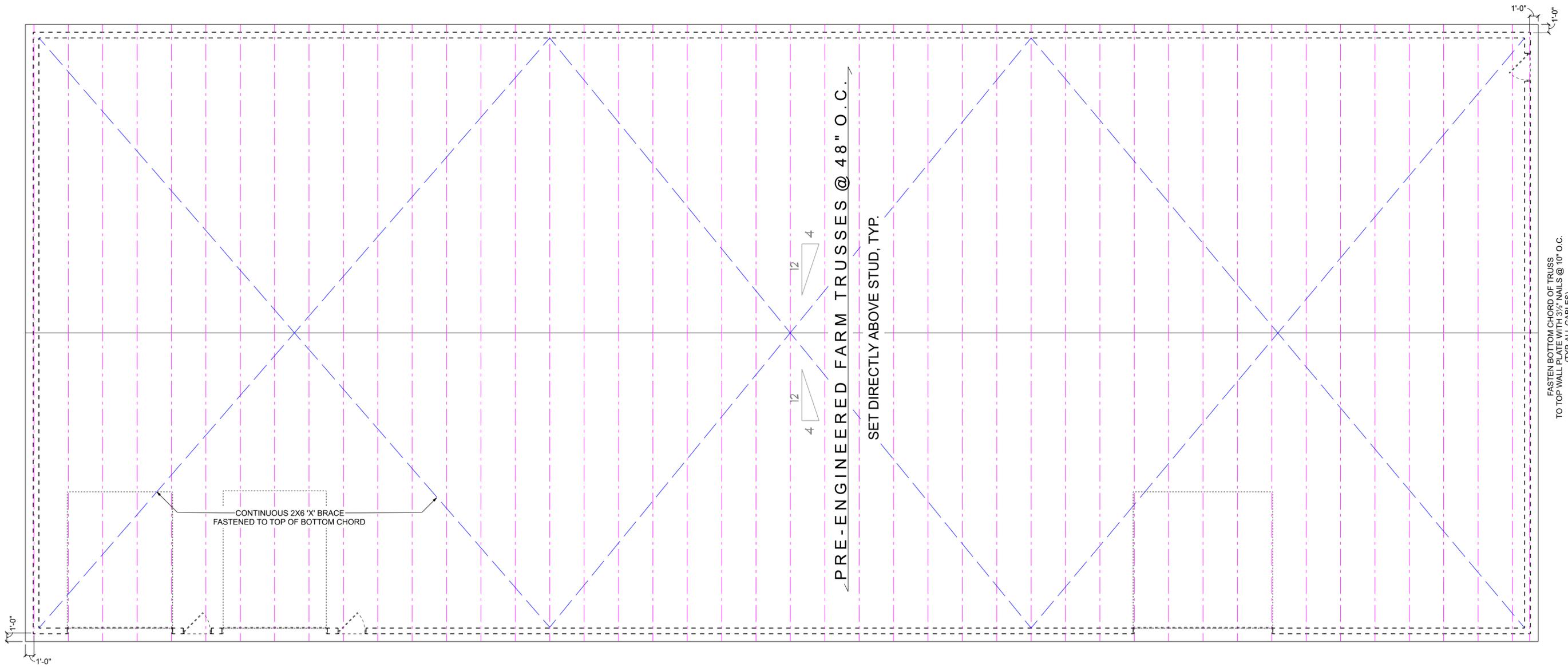
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED IN UNCERTAINTY.

PROJECT # 22-09-061

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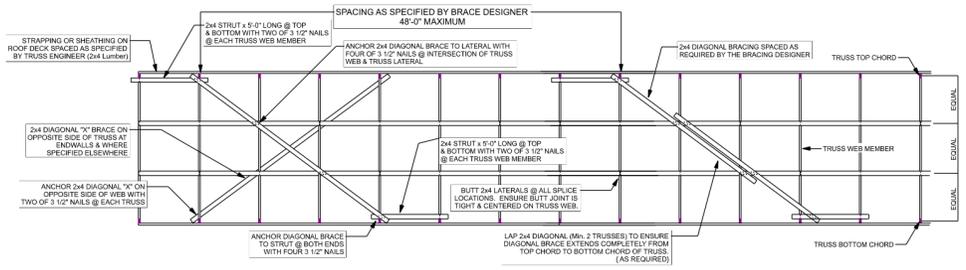
Client	STARFRA FEEDS		Drawing	MAIN FLOOR PLAN	
Project Title	70'-0" X 174'-0" FARM STORAGE BUILDING		Scale	1/8" = 1'-0"	
	129 9th LINE DOURO, ON		Date	FEB. 4, 2022	
			Drawn By	R. WARKENTIN	
			Proj. #	2686	

S3



FASTEN BOTTOM CHORD OF TRUSS TO TOP WALL PLATE WITH 3/2" NAILS @ 10" O.C. (TYP. ALL GABLES)

1 ROOF PLAN
S4 SCALE: 1/8" = 1'-0"



NOTES FOR BRACING OF ROOF TRUSS(ES):

- 1 -> CONTRACTOR AND/OR OWNER TO NOTIFY MANUFACTURER OF ANY TRUSS DEFICIENCIES SUCH AS DAMAGED OR BROKEN TRUSSES, WARPING OF TRUSS MEMBERS, AND MISSING OR OFFSET TRUSS PLATES.
- 2 -> DIAGONAL BRACING MUST BE PROVIDED ON ALL WEB MEMBERS THAT REQUIRE LATERAL BRACING. DIAGONAL BRACING SHALL BE SPACED AS NOTED ON THE ATTACHED DRAWING(S), & X-BRACING SHALL BE PROVIDED @ ENDWALLS @ INTERVALS NOTED ON THE ROOF PLAN.
- 3 -> PERMANENT LATERAL BRACING TO BE INSTALLED ON WEB MEMBERS AS INDICATED ON THE ROOF PLAN AND MANUFACTURERS DRAWINGS.
- 4 -> PROVIDE DIAGONAL BRACING @ ALL DISCONTINUITIES IN LATERAL BRACING SUCH AS WHERE TRUSS TYPE CHANGES
- 5 -> THE TRUSS SUPPLIER SHALL DESIGN THE TRUSSES FOR THE BRACING NOTED. BRACING DETAILS WILL NOT BE MODIFIED UNLESS SPECIFIED BY THE BUILDING DESIGNER.

2 LATERAL 'X' BRACE DETAIL
S4 SCALE: 1/8" = 1'-0"

ROOF NOTES:

- FIRE STOPS NOT REQUIRED OVER AREAS WITH NO CEILING.
- PROVIDE 'X' BRACING OF TRUSS LATERALS AS PER MFG SHOP DRAWINGS REVIEWED BY PROJECT ENGINEER (SEE DETAIL 2/S4)
- EAVE & GABLE OVERHANGS AS SHOWN

- LEGEND:**
- - - - - = PRE-ENG. TRUSS
 - - - - - = BOTTOM CHORD BRACING
 - [- - - -] = BEARING WALL

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FEB 4, 2022	ISSUED FOR CLIENT REVIEW
AUG 25, 2022	ISSUED FOR PERMIT
OCT 17, 2022	DOOR LOCATION CHANGES

44681 Gough Road, RR 2 Gorrie, Ontario N0G 1X0 Phone: 1-877-366-4650
DESIGNER INFORMATION:
 Peter Dyck 103 800

ALL CONSTRUCTION IS TO CONFORM TO THE ONTARIO BUILDING CODE, LATEST EDITION

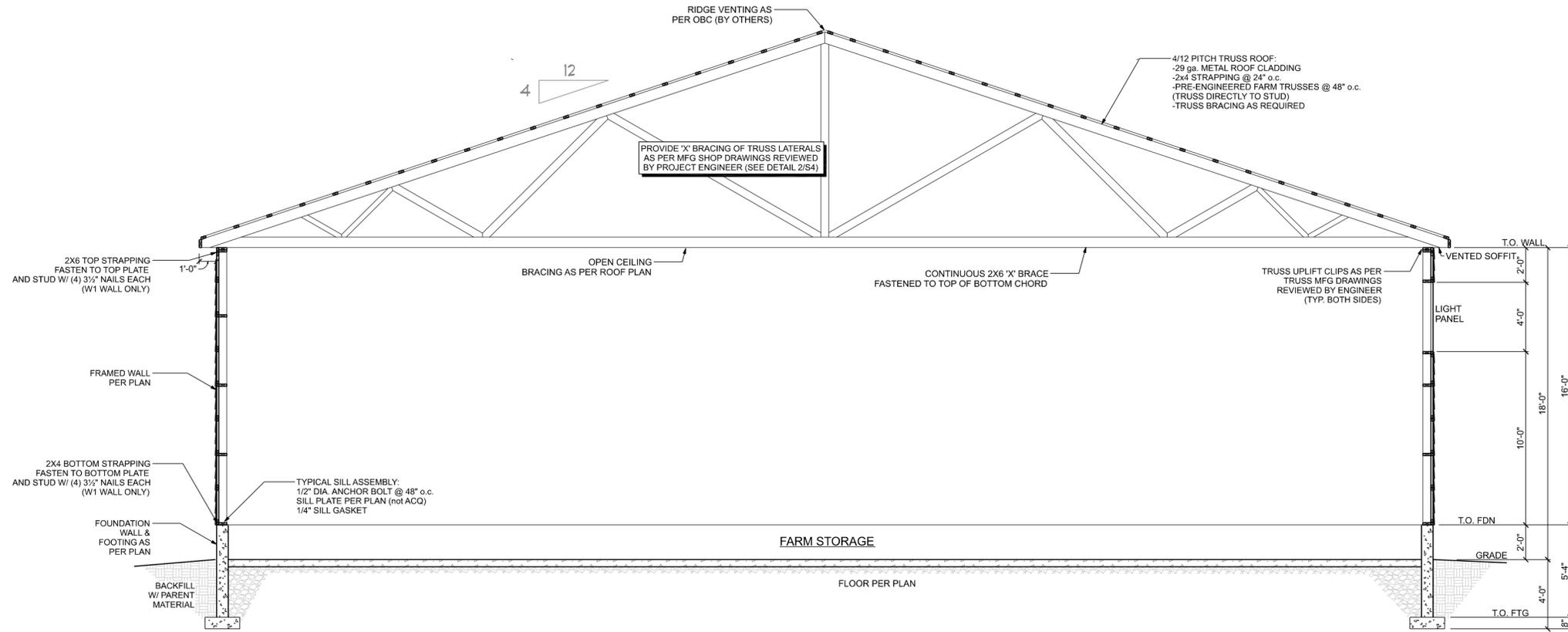
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED IN UNCERTAINTY.

PROJECT # 22-09-061

WADDELL ENGINEERING LTD.
 119 PINEBUSH RD., CAMBRIDGE ON
 PH. 519-267-6789
 FAX. 1-866-388-9659
 INFO@WADDELLENG.COM

Client	STARFRA FEEDS	Drawing	ROOF PLAN
Project Title	70'-0" X 174'-0" FARM STORAGE BUILDING	Scale	1/8" = 1'-0"
	129 9th LINE DOURO, ON	Date	FEB. 4, 2022
		Drawn By	R. WARKENTIN
		Proj. #	2686

S4



1
S5 BUILDING SECTION
SCALE: 3/16" = 1'-0"

CONCRETE / FOUNDATION:

1. MINIMUM CONCRETE STRENGTH

CONCRETE SPECIFICATIONS			
LOCATION	STRENGTH	W/C RATIO	AIR ENTRAINMENT
FOOTINGS	20 MPa	0.55	5% TO 8%
FOUNDATION WALLS	25 MPa	0.50	5% TO 8%
CONCRETE FLOORS	32 MPa	0.45	0%
MANURE STRG FLOOR	32 MPa	0.45	0%
MANURE STRG WALLS	32 MPa	0.45	5% TO 8%

2. CONCRETE CODES: CONFORM TO CSA 23.1, 2.3 MANUAL OF STANDARD PRACTICE BY R.S.I.O. REBAR 400 MPa
3. SLUMP: 4" SLUMP +/- 1"
4. CONCRETE TESTING: BY CSA CERTIFIED CONCRETE TESTING LABORATORY.
5. SLABS: SAW-CUT TO 1/4 OF SLAB DEPTH SPACING AT 30 TIMES SLAB DEPTH. CUT WITHIN 24 HRS OF SLAB PLACEMENT
6. REINFORCING REBAR SPLICES SHALL BE OVERLAPPED AT LEAST 18" REBAR IN FOOTINGS SHALL HAVE A COVERAGE OF AT LEAST 3". ALL OTHER CONCRETE COVERAGE FOR STRUCTURAL REINFORCEMENT SHALL BE NOT LESS THAN 2".

- DESIGN LOADS:**
1. DESIGN LOADS UNFACTORED U.N.O. AND DO NOT INCLUDE IMPORTANCE FACTOR
- A. CLIMATIC DESIGN DATA (PETERBOROUGH)
 $S_s = 2.0 \text{ kPa}$
 $S_r = 0.4 \text{ kPa}$
 $q(1/10) = 0.32 \text{ kPa}$
- B. ROOF (DEAD) = 0.4 kPa (NO CEILING)
 4/12 PITCH (SLIPPERY ROOF / NON-SOLAR)
 SNOW LOAD = 1.34 kPa BALANCED
 1.50 kPa UNBALANCED
2. THIS BUILDING IS DESIGNED FOR "LOW HUMAN OCCUPANCY"

OWNER/CONTRACTOR RESPONSIBILITIES FOR SITE REVIEW:

1. THE ENGINEER SHALL BE CONTACTED BY THE OWNER OR CONTRACTOR TO PERFORM SITE REVIEWS OF CONSTRUCTION IN ACCORDANCE WITH O.B.C. 1.2.2.2. [C].
2. ENGINEER SHALL BE CONTACTED PRIOR TO ALL CONCRETE POURS AND PRIOR TO INSTALLATION OF INTERIOR FINISHES AND CLADDING. ENGINEER WOULD PREFER 24 HOURS NOTICE.

FRAMING NOTES:

1. ALL DIMENSIONS, INCLUDING ROUGH OPENING SIZES, SHALL BE CONFIRMED BEFORE CONSTRUCTION. DIMENSION DISCREPANCIES SHALL BE REPORTED IMMEDIATELY.
2. STUD WALLS SHALL BE ANCHORED TO FOUNDATION WITH 1/2" ANCHOR BOLTS @ 48" SPACINGS AND WITHIN 6" OF ENDS OR CORNERS.
3. WIND-BRACING SHALL BE PROVIDED ON ALL EXTERIOR WALL CORNERS AS PER ELEVATION DETAILS OR PROVIDE STRUCTURAL SHEATHING AS SPECIFIED.
4. THE CONTRACTOR SHALL ENSURE ANY TEMPORARY BRACINGS OF WALLS OR TRUSSES ARE ADEQUATE.
5. ALL TRUSS BRACING SHALL BE IN ACCORDANCE WITH THE APPROVED ENGINEERED DRAWINGS OF THE TRUSS MANUFACTURER. DIAGONAL BRACING SHALL BE SPACED AS SPECIFIED BY THE PROJECT ENGINEER.
6. SHOP DRAWINGS SHALL BE CERTIFIED BY A PROFESSIONAL ENGINEER WHERE REQUIRED AND REVIEWED BY THE CONTRACTOR FOR DIMENSIONAL CORRELATION WITH THE DRAWINGS AND FIELD CONDITIONS PRIOR TO SUBMITTING TO THE PROJECT ENGINEER.
7. ALL WOOD SHALL BE No. 2 SPF OR BETTER.
8. STUDS SHALL BE SECURED TO PLATES W/ (3) 3/8" NAILS.
9. PRECAUTIONS SHALL BE TAKEN TO NOT OVERLOAD THE STRUCTURE DURING CONSTRUCTION.

STRUCTURAL STEEL:

1. ALL STEEL SHALL BE DESIGNED, FABRICATED AND ERECTED IN CONFORMANCE TO CAN/CSA-S16-09 AND THE 2012 ONTARIO BUILDING CODE.
2. ALL STEEL MEMBERS TO BE NEW MEMBERS.
3. ALL ROLLED STRUCTURAL STEEL MEMBERS SHALL CONFORM TO CSA - G40.21 - 13 M300W
4. WELDING SHALL CONFORM TO CSA - W59 - 03 LATEST EDITION. ELECTRODES SHALL BE E70XX OR BETTER.
5. CONNECTION BOLTS SHALL BE ASTM A-325 HIGH STRENGTH BOLTS UNLESS NOTED.
6. ALL BOLTED CONNECTIONS SHALL BE BEARING TYPE UNLESS NOTED OTHERWISE.
7. ALL CONNECTIONS SHALL BE INSPECTED AS PER CAN / CSA - S16 - 09

GENERAL ENGINEER'S NOTES:

1. DESIGN AND CONSTRUCTION OF ALL WORK ON THIS PROJECT SHALL CONFORM TO LATEST EDITIONS OF THE FOLLOWING:
 - NATIONAL BUILDING CODE
 - ONTARIO BUILDING CODE
 - FARM BUILDING CODE
 - LOCAL REGULATIONS
 - OHSA REGULATIONS
2. DRAWINGS ARE NOT TO BE SCALED.
3. THE ENGINEER SHALL BE GIVEN 48 HR MIN. NOTICE (AT 519-267-6789) BY THE CONTRACTOR FOR REQUIRED INSPECTIONS OF THE FOUNDATION, REINFORCING STEEL PLACEMENT AND FRAMING. IN ACCORDANCE WITH O.B.C. 1.2.2 [C], ENGINEER SHALL BE CONTACTED PRIOR TO ALL CONCRETE POURS AND PRIOR TO INSTALLATION OF INTERIOR FINISHES AND CLADDING.
4. THE CONTRACTOR SHALL CHECK AND VERIFY ALL SITE CONDITIONS AND MEASUREMENTS AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
5. NO CHANGES SHALL BE MADE WITHOUT THE ENGINEER'S APPROVAL.
6. CONTRACTOR SHALL MAKE ADEQUATE PROVISIONS FOR TEMPORARY BRACING AND SHORING. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN LOADS NOTED ON DRAWINGS.
7. SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION FOR THE FOLLOWING:
 - ROOF TRUSSES (CERTIFIED BY P/ENG)

EGRESS FARM NOTES:

1. MAXIMUM TRAVEL DISTANCE TO AN EXIT SHALL NOT EXCEED 45M (147 ft.)
2. WINDOWS USED AS EXITS REQUIRE A MINIMUM OPENING OF 22" X 36"
3. EXITS MUST BE ACCESSIBLE AT ALL TIMES AND BE CLEARLY VISIBLE

GENERAL CONSTRUCTION NOTES:

1. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE DRAWINGS (DO NOT SCALE DRAWINGS)
2. ALL DIMENSIONS MUST BE JOB SITE CHECKED BY CONTRACTOR AND VERIFIED. DISCREPANCIES MUST BE REPORTED BEFORE COMMENCING WORK.
3. THE DESIGNER HAS NOT BEEN ENGAGED FOR CONSTRUCTION SUPERVISION AND ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION COORDINATING WITH THESE PLANS. NOR RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
4. INTERIOR DIMENSIONS TO BE CALCULATED FROM STUD TO STUD.
5. EXTERIOR DIMENSIONS TO BE CALCULATED FROM OUTSIDE OF STRAPPING
6. WINDOW SUPPLIERS TO SUPPLY R.S.O. FOR ALL WINDOWS AND DOORS.
7. ALL LIGHTING AND ELECTRICAL WORK IS TO COMPLY WITH OBC 9.34.

EXCAVATION AND BACKFILL:

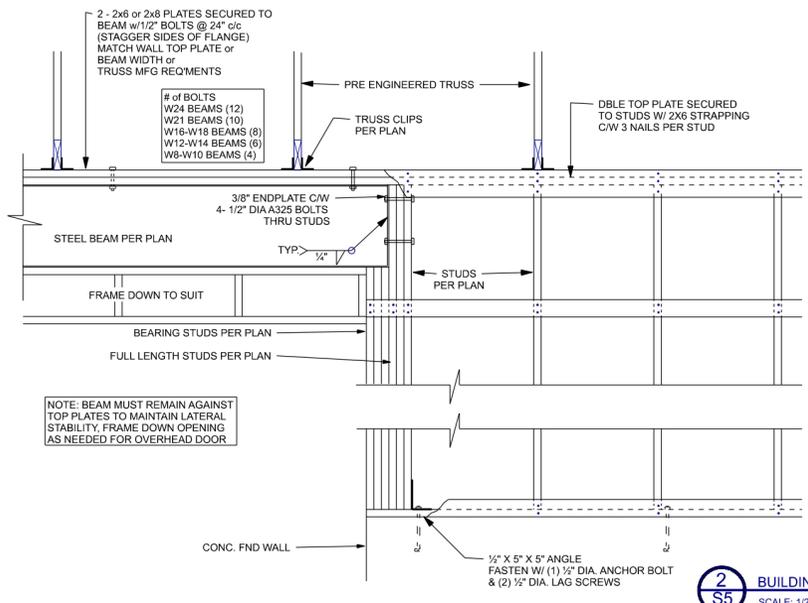
1. FOOTINGS SHALL BEAR ON UNDISTURBED SOILS, ROCK OR COMPACTED GRANULAR FILL AND SHALL BE A MINIMUM OF 4'-0" BELOW FINISHED GROUND LEVEL.
2. DRAWINGS HAVE BEEN MADE FOR SOIL CONDITIONS OF NO LESS THAN 3,000 PSF ALLOWABLE BEARING CAPACITY. SHOULD UNUSUALLY SOFT SOILS BE ENCOUNTERED AT TIME OF EXCAVATION THE PROJECT ENGINEER SHALL BE CONTACTED IMMEDIATELY.
3. FOOTINGS SHALL BE KEPT FREE OF STANDING WATER AT TIME OF EXCAVATION.
4. BACKFILL SHALL BE FREE DRAINING CLEAN GRANULAR FILL. PROVIDE NEGATIVE SLOPE AWAY FROM BUILDING.

FIRE SEPARATION (N.F.B.C. 3.1.1.2 - 1 STOREY BLDG.):

1. PROPOSED ONE STORY BUILDING	12 180 sq. ft.
TOTAL	12 180 sq. ft.

(NO FIRE SEPARATIONS REQUIRED)

VERIFY THAT THE STRUCTURE IS NOT WITHIN 96'-5" OF A PROPERTY LINE, PUBLIC THROUGHFARE OR A DWELLING LOCATED ON THE PROPERTY. CONTACT THE PROJECT ENGINEER IF THESE REQUIREMENTS CANNOT BE MET.



2
S5 BUILDING SECTION
SCALE: 1/2" = 1'-0"

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FEB 4, 2022	ISSUED FOR CLIENT REVIEW
AUG 25, 2022	ISSUED FOR PERMIT
OCT 17, 2022	DOOR LOCATION CHANGES

Star blueprints inc.

44681 Gough Road, RR 2 Gorrie, Ontario N0G 1X0 Phone: 1-877-366-4650

DESIGNER INFORMATION:
Peter Dyck 103 800

ALL CONSTRUCTION IS TO CONFORM TO THE ONTARIO BUILDING CODE, LATEST EDITION

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED IN UNCERTAINTY.

PROJECT # 22-09-061

WADDELL ENGINEERING LTD.
119 PINEBUSH RD., CAMBRIDGE ON
PH. 519-267-6789
FAX. 1-866-388-9659
INFO@WADDELLENG.COM

LICENSED PROFESSIONAL ENGINEER
S. DESROCHES
10022482
October 17 2022
PROVINCE OF ONTARIO

Client	STARFRA FEEDS		Drawing	BUILDING SECTION	
Project Title	70'-0" X 174'-0" FARM STORAGE BUILDING		Scale	1/8" = 1'-0"	
	129 9th LINE DOURO, ON		Date	FEB. 4, 2022	
			Drawn By	R. WARKENTIN	
			Proj. #	2686	
			S5		



March 9, 2023

Environmental

Geotechnical

Building Sciences

Construction Quality
Verification

Telephone

(866) 217.7900

(705) 742.7900

Facsimile

(705) 742.7907

Website

cambium-inc.com

Mailing Address

P.O. Box 325,
Peterborough, Ontario
Canada, K9J 6Z3

Locations

Peterborough

Kingston

Barrie

Oshawa

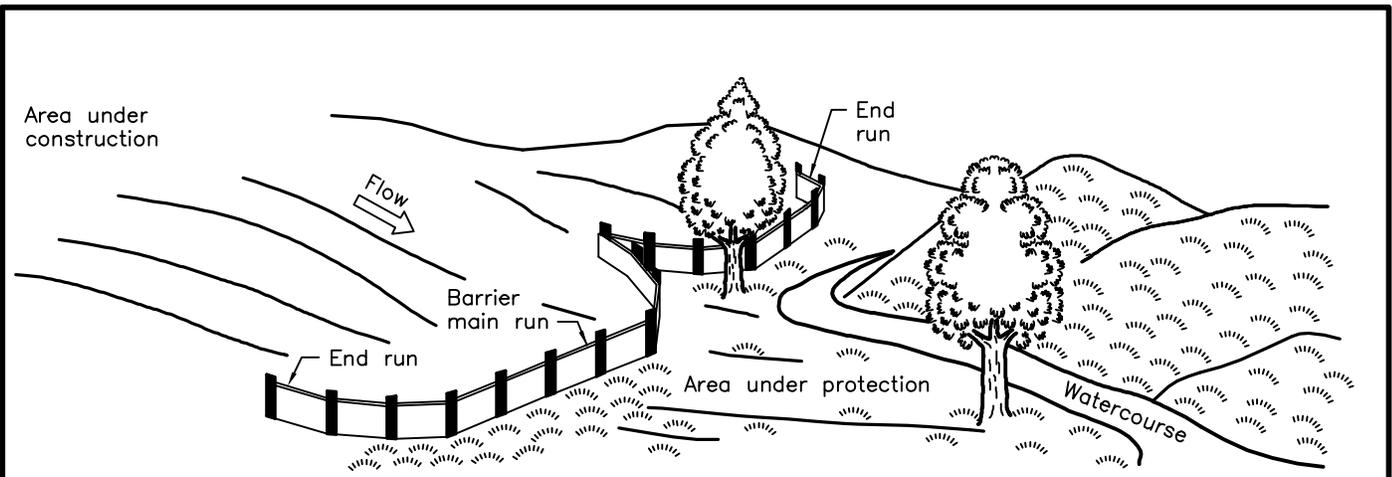
Laboratory

Peterborough

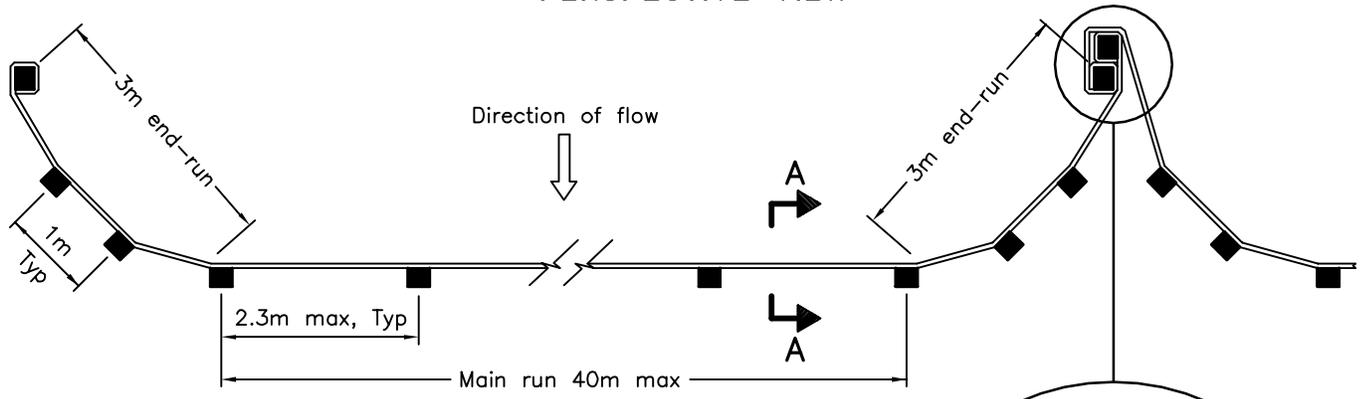
Appendix B

Ontario Provincial Standard Drawings

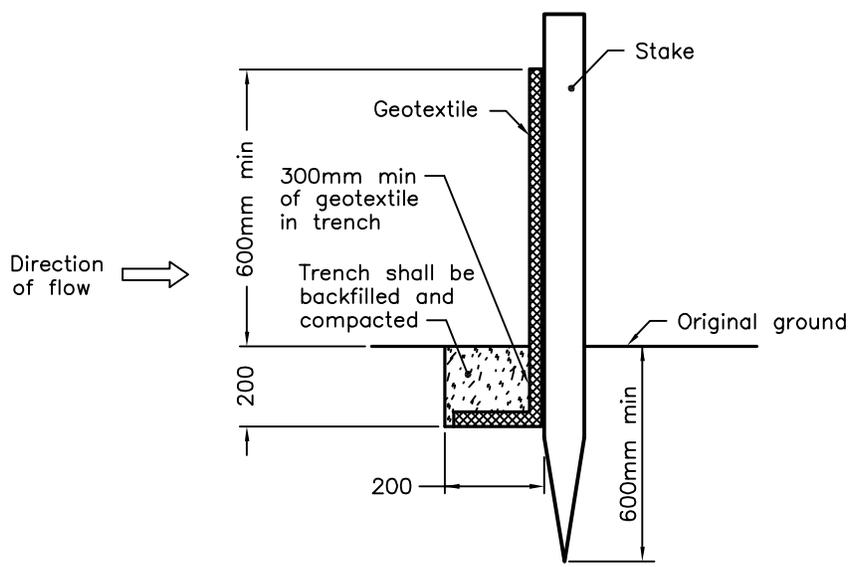




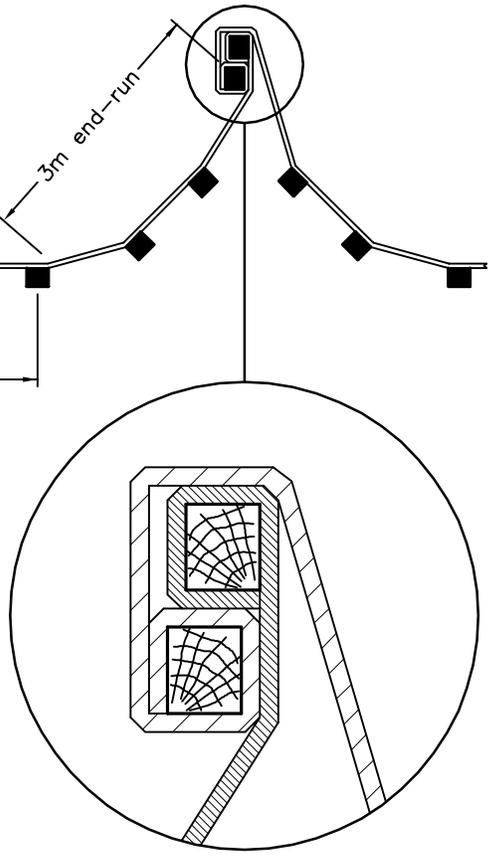
PERSPECTIVE VIEW



PLAN



SECTION A-A



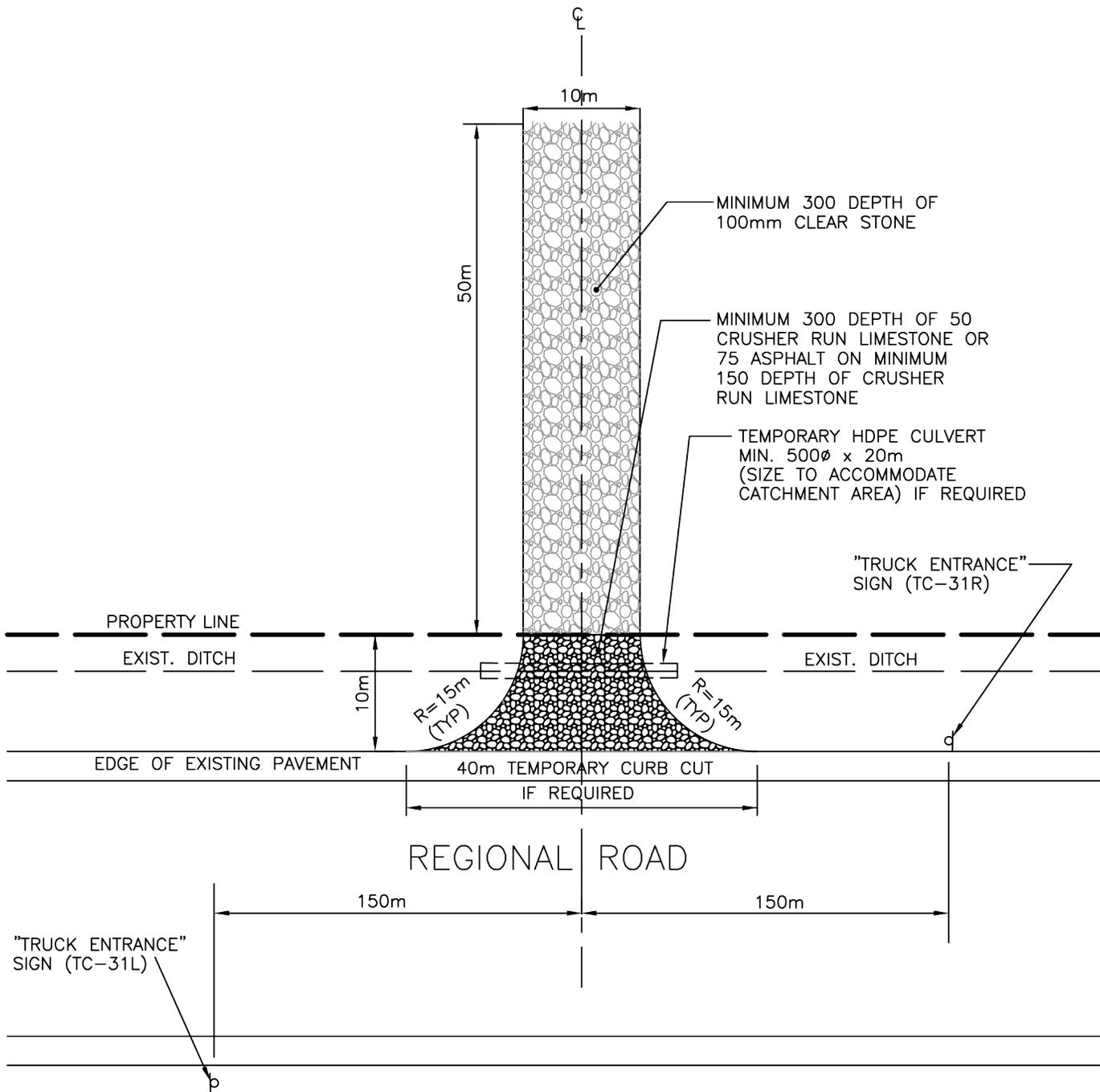
JOINT DETAIL

NOTE:

A All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING		Nov 2015	Rev 2	
<p style="text-align: center;">LIGHT-DUTY SILT FENCE BARRIER</p>		-----		

		OPSD 219.110		



NOTES

1. ALL DIMENSIONS ARE IN mm UNLESS OTHERWISE NOTED.
2. TEMPORARY "TRUCK ENTRANCE" SIGNS(TC-31) SHALL BE INSTALLED ON THE SHOULDER, 150M IN ADVANCE OF THE ACCESS (NOTE: SEE DETAILS ON USE OF THESE SIGNS IN THE ONTARIO TRAFFIC MANUAL, BOOK 7.) THE APPLICANT WILL BE RESPONSIBLE FOR THE COST OF OBTAINING, ERECTING AND MAINTAINING THESE SIGNS.
3. TEMPORARY CONSTRUCTION ACCESS SHALL BE REMOVED FROM THE REGIONAL ROAD ALLOWANCE AND ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.

Transportation Services			
<p style="margin: 0;">MUD MAT FOR TEMPORARY CONSTRUCTION ACCESS</p>			
DATE:	MARCH 2015		
SCALE	N.T.S.		
REV.	X	X	DS-217



**ONTARIO REGULATION 167/06 –
DEVELOPMENT, INTERFERENCE WITH WETLANDS AND
ALTERATIONS TO SHORELINES AND WATERCOURSES**

PERMIT NUMBER: 2023-065

CADIMS No.: PPRD-2505

Page 1 of 6

Permission has been granted to: Owner: Paul McMahon Phone: 705-930-0879	Address: 153 Douro Ninth Line Douro-Dummer Ontario K9J 6Y1 Email: paulmcmahon@xplornet.com
Applicant: Cambium c/o Myles Latter Phone: 705-957-5571	Address: 194 Sophia Street Peterborough Ontario K9H 1E5 Email: Myles.Latter@cambium-inc.com
Property Location: Douro-Dummer Ward: Douro Street Name: 153 Douro Ninth Line Roll Number: 152201000404700	
Description of Proposed Work: Development activities to construct an 53 metre x 21 metre agricultural storage accessory structure as per approved documentation and conditions.	

**THIS PERMIT IS VALID ON THE ABOVE LOCATION ONLY FOR THE PERIOD OF:
04/04/2023 to 04/04/2025**

and at midnight of the date last mentioned this permit becomes null and void.

The Applicant and Owner, by acceptance of and in consideration of the issuance of this permit, agrees to the following conditions:

Project Specific Conditions

Mandatory

1. The permit holder shall maintain a copy of this permit on site and shall ensure that all individuals involved in carrying out the work are aware of the permit and its conditions.
2. The project shall be carried out as per the plans and reports (Schedule 'A') submitted in support of this application as they may be amended through conditions of this permit.

250 Milroy Drive, Peterborough ON K9H 7M9

P: 705-745-5791 F: 705-745-7488

otonabeeconservation.com

Erosion & Sediment Control

3. Prior to the commencement of filling, grading or other development activities, the applicant shall erect erosion and sedimentation controls sufficient to prevent sediment from washing off-site and into adjacent ditches, streams, watercourses or storm sewers. These controls shall be maintained in good working order and to the satisfaction of Conservation Authority staff until disturbed areas are stabilized. Additional controls shall be erected as may be requested by Authority staff or as conditions dictate following commencement of works.
4. All disturbed areas shall be seeded, sodded or stabilized in some other manner acceptable to Authority staff as soon as possible and prior to the expiry of this permit. Once the exposed areas are stabilized, the sediment controls are to be removed from the site.
5. Other than activities allowed under this permit, there shall be no filling nor encroachment of construction equipment or materials into adjacent natural areas, streams, flood plain lands, wetlands and valley lands.
6. It will be the proponent's responsibility to ensure that the sedimentation control measures are inspected daily and that any maintenance, including the removal of accumulated sediment, is carried out as required.

Adjacent To Wetland

7. That the work be undertaken as per the conclusions and recommendations found the in Scoped Environmental Impact Study for 153 Douro Ninth Line, Prepared by Cambium Project: 12683-001 Dated September 14th 2022.
8. That the work be undertaken as per the conclusions and recommendations found the in Environmental Management Plan for 153 Douro Ninth Line, Prepared by Cambium Project: 12683-001 Dated March 9th 2023.
9. A copy of the Scoped Environmental Impact Study and Environmental Management Plan remains onsite during construction.
10. Erosion and Sediment measures will be erected and managed as per the approved Environmental Management Plan and Scoped Environmental Impact Study.



PERMIT NUMBER: 2023-065

CADIMS No.: PPRD-2505

Page 3 of 6

11. Monitoring reports shall be submitted to Otonabee Region Conservation Authority staff at the end of the growing season by November 23rd for two years as per the recommendations in the approved Scoped Environmental Impact Study and Environmental Management Plan.

General Conditions

1. Authorized representatives of the Otonabee Region Conservation Authority will be granted entry at any time into the subject lands and buildings of the permittee, in order to make such surveys, examinations, investigations, inspections or other arrangements which such representatives deem necessary.
2. The permittee agrees:
 - a) To indemnify and save harmless, the Otonabee Region Conservation Authority and its officers, employees, or agents, from and against all damage, loss, costs, claims, demands, actions and proceedings, arising out of or resulting from any act or omission of the permittee or any of his agents, employees, or contractors relating to any of the particulars, terms or condition of this permit;
 - b) That this permit shall not release the permittee from any legal liability or obligation and remains in force subject to all limitations, requirements and liabilities imposed by law;
 - c) That all complaints arising from the proposed works authorized under this permit shall be reported immediately by the permittee to the Otonabee Region Conservation Authority. The permittee shall indicate any action which has taken place or is planned to be taken, with regard to each complaint.
3. This permit shall not be assigned or assumed by any subsequent purchaser, transferee, or grantee without permission of the Otonabee Region Conservation Authority.
4. This permit does not absolve the permittee of the responsibility of obtaining necessary permission from applicable federal, provincial or local agencies.
5. The permittee agrees that should default be made by the permittee in compliance with, or satisfaction of, the enumerated conditions and/or submitted application, the Otonabee Region Conservation Authority may enter upon the property with respect to which conditional approval is granted and cause said conditions to be satisfied if necessary, the expense of which will be the sole responsibility of the permittee.



PERMIT NUMBER: 2023-065

CADIMS No.: PPRD-2505

Page 5 of 6

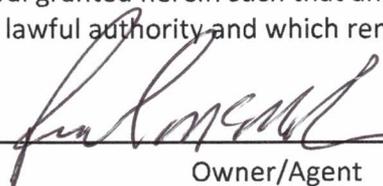
Under Section 28 (12) of the Conservation Authorities Act R.S.O. 1990, Chapter C.27, as amended, an applicant has the right to request a Hearing before the Executive Committee if the applicant disputes one or more of the conditions imposed in this permit. If you wish to be issued subject to the conditions contained herein, please sign the waiver below.

I/we, the undersigned, have been notified of my/our right to a Hearing before the Executive Committee of Otonabee Region Conservation Authority to dispute one or more of the conditions contained herein and hereby irrevocably waive all rights to a Hearing before the Executive Committee of the Otonabee Region Conservation Authority.


Applicant Initials

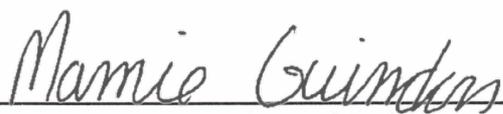
I/we, the undersigned agree that should default be made by me/us in compliance with or satisfaction of these enumerated specific and general conditions and/or the submitted application, the Otonabee Region Conservation Authority may rescind the conditional approval granted herein such that any acts done by me/us for which approval is otherwise required are done without lawful authority and which render me/us liable to prosecution.

Date: April 13/23

Signature: 
Owner/Agent

Application Approved:

Date: April 4, 2023

Signature: 
Authorized Staff

Signature: 
CAO or Manager, PR&PS

Schedule "A"
Approved Drawings & Reports

- Scoped Environmental Impact Study for 153 Douro Ninth Line, Prepared by Cambium Project: 12683-001 Dated September 14th 2022, Approved by Otonabee Region Conservation Authority staff on April 4th 2023.
- Environmental Management Plan for 153 Douro Ninth Line, Prepared by Cambium Project: 12683-001 Dated March 9th 2023, Approved by Otonabee Region Conservation Authority staff on April 4th 2023.
- All Elevations S1, Prepared by Waddell Engineering Ltd., Dated February 4th 2022, Approved by Otonabee Region Conservation Authority staff on April 4th 2023.
- Foundation Plan S2, Prepared by Waddell Engineering Ltd., Dated February 4th 2022, Approved by Otonabee Region Conservation Authority staff on April 4th 2023.
- Main Floor Plan S3, Prepared by Waddell Engineering Ltd., Dated February 4th 2022, Approved by Otonabee Region Conservation Authority staff on April 4th 2023.
- Roof Plan S4, Prepared by Waddell Engineering Ltd., Dated February 4th 2022, Approved by Otonabee Region Conservation Authority staff on April 4th 2023.
- Building Section S5, Prepared by Waddell Engineering Ltd., Dated February 4th 2022, Approved by Otonabee Region Conservation Authority staff on April 4th 2023.
- Site location- Figure 1, Prepared by Cambium, Dated February 2023, Approved by Otonabee Region Conservation Authority staff on April 4th 2023.
- Site Plan- Figure 2, Prepared by Cambium, Dated February 2023, Approved by Otonabee Region Conservation Authority staff on April 4th 2023.
- Erosion and Sediment Control Plan- Figure 3, Prepared by Cambium, Dated February 2023, Approved by Otonabee Region Conservation Authority staff on April 4th 2023.
- Planting Plan- Figure 4, Prepared by Cambium, Dated February 2023, Approved by Otonabee Region Conservation Authority staff on April 4th 2023.

From: [Hynes, Pete](#)
To: [Christina Coulter](#)
Cc: [Darling, Kyle](#)
Subject: R-08-24 (McMahon)
Date: April 4, 2024 4:30:03 PM
Attachments: [image001.png](#)

Thank you for sending the notice for the above-referenced application.

The Engineering and Design Division (E&D) of Peterborough County Public Works has no objections, comments or concerns with respect to this application.

Please note that E&D Staff will not be in attendance for the public meeting.

Regards,

Pete Hynes, P.Eng.
Senior Project Coordinator
Engineering and Design
County of Peterborough
705-775-7076



From: [Municipal Planning](#)
To: [Christina Coulter](#)
Subject: RE: R-08-24 (McMahon)
Date: April 1, 2024 9:39:53 AM
Attachments: [image001.png](#)

Thank you for your circulation.

Enbridge Gas does not object to the proposed application(s) however, we reserve the right to amend or remove development conditions. This response does not signify an approval for the site/development.

Please always call before you dig, see web link for additional details:
<https://www.enbridgegas.com/safety/digging-safety-for-contractors>

Please continue to forward all municipal circulations and clearance letter requests electronically to MunicipalPlanning@Enbridge.com.

Regards,

Willie Cornelio CET (he/him)
Sr Analyst, Municipal Planning
Engineering

ENBRIDGE
TEL: 416-495-6411
500 Consumers Rd, North York, ON M2J1P8
enbridge.com
Safety. Integrity. Respect. Inclusion.

From: Christina Coulter <ChristinaC@dourodummer.on.ca>
Sent: Friday, March 22, 2024 2:51 PM
Cc: Martina Chait <MartinaC@dourodummer.on.ca>
Subject: [External] R-08-24 (McMahon)

CAUTION! EXTERNAL SENDER

Were you expecting this email? TAKE A CLOSER LOOK. Is the sender legitimate?
DO NOT click links or open attachments unless you are 100% sure that the email is safe.

Good Afternoon;

The Township is in receipt of a rezoning application File R-08-24 (McMahon). A copy of the Notice of Complete Application and Public Meeting and Draft By-law are attached and will be mailed and posted on the [Township website](#) today.

Please provide your comments no later than 11:00 a.m. on Thursday April 4, 2024.

Sincerely,
Christina

Christina Coulter B. Sc. (Hons.)
Planner

T: 705 652 8392 x 226 F: 705 652 5044

Township of

Douro-Dummer

From: [Jeannette Thompson](#)
To: [Christina Coulter](#)
Subject: RE: R-08-24 (McMahon)
Date: March 27, 2024 6:13:21 PM
Attachments: [image001.png](#)

Hello Christina –

Thank you for circulating the zoning by-law amendment application R-08-24 (McMahon) for review.

Please accept this as a formal response from Kawartha Pine Ridge District School Board (KPRDSB). KPRDSB staff has reviewed the application and has not identified any concerns or issues related to our mandate with the proposed zoning by-law amendment.

Thank you for the opportunity to comment.

Kind Regards,

Jeannette Thompson

Jeannette Thompson, BSc, MCIP, RPP

Manager, Planning Services

Kawartha Pine Ridge District School Board

1994 Fisher Drive Peterborough, ON K9J 6X6

705.742.9773 x 2169 | 1.877.741.4577 x 2169

www.kprschoools.ca

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From: Christina Coulter <ChristinaC@dourodummer.on.ca>

Sent: Friday, March 22, 2024 2:51 PM

Cc: Martina Chait <MartinaC@dourodummer.on.ca>

Subject: R-08-24 (McMahon)

You don't often get email from christinac@dourodummer.on.ca. [Learn why this is important](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good Afternoon;

The Township is in receipt of a rezoning application File R-08-24 (McMahon). A copy of the Notice of Complete Application and Public Meeting and Draft By-law are attached and will be mailed and posted on the [Township website](#) today.

Please provide your comments no later than 11:00 a.m. on Thursday April 4, 2024.

Sincerely,
Christina

Christina Coulter B. Sc. (Hons.)
Planner

T: 705 652 8392 x 226 F: 705 652 5044

Township of

Douro-Dummer

From: [Corridor East \(MTO\)](#)
To: [Christina Coulter](#)
Cc: [Taylor, George \(MTO\)](#)
Subject: RE: R-08-24 (McMahon)
Date: April 4, 2024 9:33:52 AM
Attachments: [image001.png](#)

129 Douro Ninth Line – R-08-24 – ZBA

Thank you for circulating the proposed Application of Zoning By-law Amendment for the subject lands at 129 Douro 9th Line to the Ministry of Transportation (MTO) for review. Please accept this email as the formal response from the MTO. The subject lands are within MTO's permit control area, therefore, Ministry approvals and permits are required prior to the construction and/or alteration of any buildings and/or structures and prior to the issuance of any municipal building permits or approvals as per Section 8. (2) (a) of the Building Code Act.

We have reviewed the application in accordance with the Public Transportation and Highway Improvement Act (PTHIA) and the Highway Corridor Management Manual to offer the following comments:

- The Ministry has reviewed its files and does acknowledge that the Ministry has issued a Building and Land Use permit (BL-2022-41K-00000004) for this property.
- MTO has no concerns with the proposed zoning by-law amendment.
- Should the proponent intend on developing the subject lands in the future, additional MTO review and approvals will be required.

If you have any questions, please do not hesitate to contact me.

Warm Regards,

Chantel Rose Brayall (she/her)

Planning Intern | Corridor Management Section
East Operations | Ministry of Transportation
CorridorEast@Ontario.ca
Chantel.Brayall@Ontario.ca
Work Phone: (613) 484-3571

From: Christina Coulter <ChristinaC@dourodummer.on.ca>
Sent: March 22, 2024 2:51 PM
Cc: Martina Chait <MartinaC@dourodummer.on.ca>
Subject: R-08-24 (McMahon)

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Good Afternoon;

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Sincerely,
Christina

Christina Coulter B. Sc. (Hons.)
Planner

T: 705 652 8392 x 226 F: 705 652 5044

Township of

Douro-Dummer

The Corporation of the Township of Douro-Dummer

By-law Number 2024-20

Being a By-law to amend By-law Number 10-1996, as amended, otherwise known as "The Township of Douro-Dummer Comprehensive Zoning By-law"

Whereas By-law Number 10-1996, as amended, regulates the use of land and the use and erection of buildings and structures within the Township of Douro-Dummer;

And Whereas Section 34 of The Planning Act, RSO 1990, as amended, permits the Council to pass an amending Zoning By-law;

And Whereas the Council of the Township of Douro-Dummer deems it advisable to further amend By-law No. 10-1996 as amended;

Now Therefore the Council of the Township of Douro-Dummer hereby enacts as follows:

1. Schedule A1 to By-law No. 10-1996, as amended, is hereby further amended by changing the zone category on a portion of lands known municipally as 129 Douro Ninth Line and more particularly described as Part Lots 1 and 2, Concession 9 (Douro Ward) from the Rural Zone (RU) to the Special District 258 Zone (S.D. 258) as shown on Schedule "1" attached hereto and forming part of this By-law.
2. Section 21 Special Districts is amended by the addition of subsection "21.258 Special District 258 Zone (S.D. 258)" immediately following subsection 21.257 Special District 257 Zone (S.D. 257)" which shall read as follows:

21.258 Special District 258 Zone (S.D. 258) – Roll No. 1522-010-004-04700

No person shall within any Special District 258 Zone (S.D. 258) use any land, or erect, alter or use any building or structure except in accordance with the following provisions:

21.258.1 Permitted Uses

21.258.1.1 All uses permitted in Section 9.1 of the Rural Zone (RU) of By-law 10-1996, as amended.

21.258.2 Regulations for Permitted Uses

All regulations of Section 9.2 of the Rural Zone (RU) of By-law 10-1996, as amended, shall apply with the following exceptions:

- a) Minimum Exterior Side Yard for the farm building identified as "proposed building footprint" on the Site Plan prepared by Cambium dated February 2023 and attached as Schedule "2" hereto and forming part of this By-law

25 m

- b) All provisions of Section 3, General Zone Provisions of By-law 10-1996, as amended, as they apply to the use of any land, buildings or structures permitted in the Special District 258 Zone (S.D. 258) shall apply and be complied with.

3. All other relevant provisions of By-law 10-1996, as amended, shall apply.

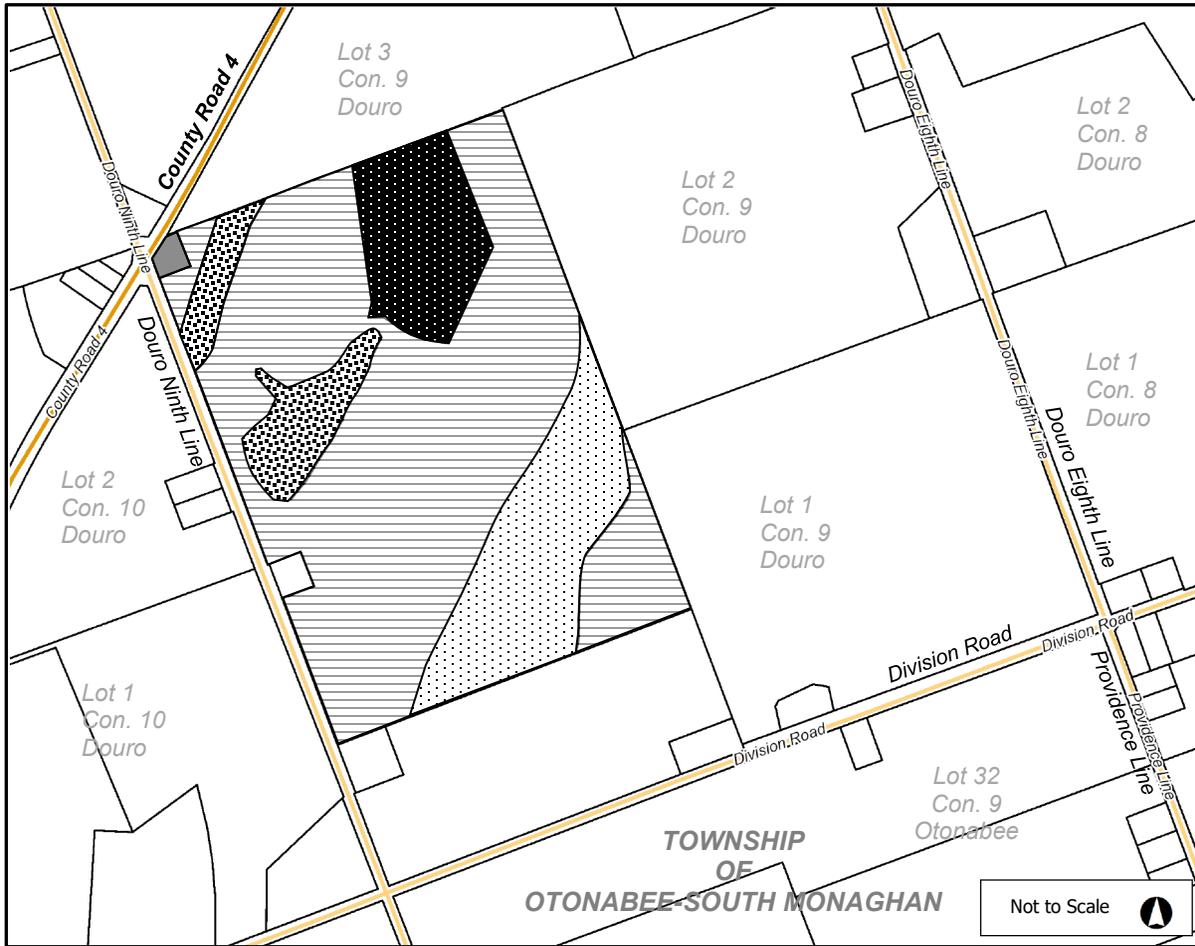
If no notice of objection is filed with the Clerk within the time provided, this By-law shall become effective on the date of passing hereof, subject to the provisions of The Planning Act, RSO 1990, as amended.

Passed in Open Council this 16th day of April, 2024.

Mayor, Heather Watson

Clerk, Martina Chait-Hartwig

Schedule "1" to By-law 2024-20

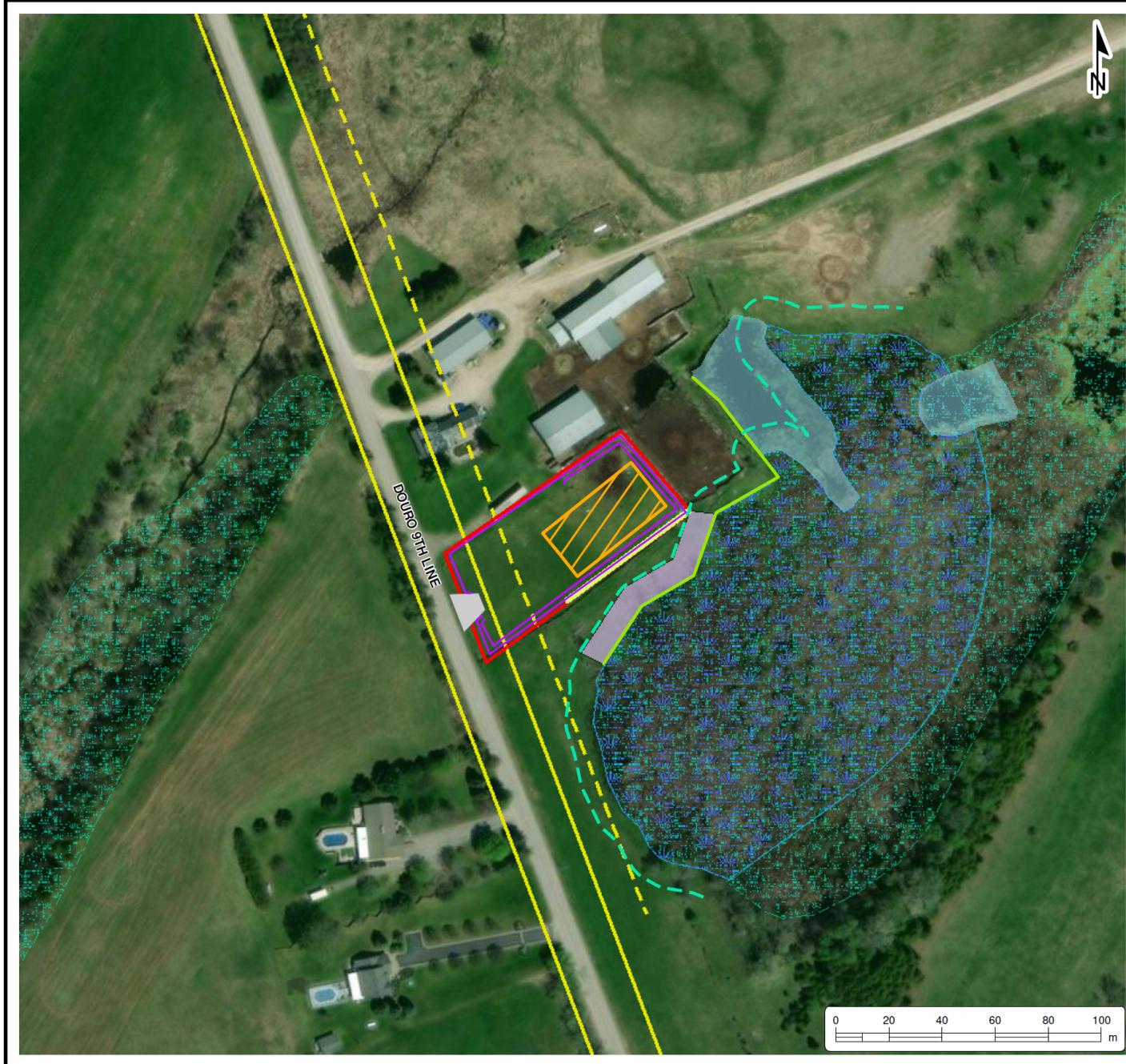


-  **Rezone from the 'Rural Zone (RU)' to the 'Special District 258 Zone (S.D. 258)'**
-  **Area to remain zoned 'Extractive Industrial Zone (M2)'**
-  **Area to remain zoned 'Environmental Conservation Provincially Significant Wetland Zone (EC(P))'**
-  **Area to remain zoned 'Environmental Conservation Zone (EC)'**
-  **Area to remain zoned 'Special District 106 Zone (S.D. 106)'**

This is Schedule '1' to By-law No. 2024-20 passed this 16th day of April, 2024.

 Mayor, Heather Watson

 Clerk, Martina Chait-Hartwig



ENVIRONMENTAL MANAGEMENT PLAN
STARFRA FEEDS
 153 Douro Ninth Line
 Douro-Dummer, Ontario

LEGEND

- 14m Right of Way Setback
- Proposed 10m Wetland Setback
- Sediment Fence
- Verified Wetland Boundary
- Pond
- Unevaluated Wetland
- Wetland
- MTO Right of Way
- Mud Mat (50mm - 100 mm aggregate)
- Restoration Area
- Cedar Hedgerow
- Proposed Building Footprint
- Site (0.33 ha) (approximate)

Notes:

- Base mapping features are © Queen's Printer of Ontario, 2019 (this does not constitute an endorsement by the Ministry of Natural Resources and Forestry or the Ontario Government).
- Distances on this plan are in metres and can be converted to feet by dividing by 0.3048.
- Cambium Inc. makes every effort to ensure this map is free from errors but cannot be held responsible for any damages due to error or omissions. This map should not be used for navigation or legal purposes. It is intended for general reference use only.

CAMBIMUM

194 Sophia Street
 Peterborough, Ontario, K9H 1E5
 Tel: (705) 742.7900 Fax: (705) 742.7907
 www.cambium-inc.com

SITE PLAN

Project No.: 12683-001	Date: February 2023
Scale: 1:2,000	Projection: NAD 1983 UTM Zone 17N
Created by: DJL	Checked by: MOL
Figure: 2	

C:\GIS\MDC\12683-001\Starfra Feeds - MPE - 153 Douro Ninth Line, Douro-Dummer\2023\02-07 FIG.2 - Site Plan.mxd

Delegation to Council or Committee of the Whole Request Form

If you would like to attend as a delegation before Council for the Township of Douro-Dummer or the Committee of the Whole, you must complete this form and submit it to the Municipal Office. Please note that the deadline for delegation requests is 12-noon, on the Tuesday prior to the meeting date (seven days before the meeting date).

A copy of any presentation or supporting materials is also required to be submitted at 12-noon, on the Tuesday prior to the meeting date. The only formats accepted are as follows: PFD, PowerPoint, Word, Excel or Jpeg.

Please note that as per Procedural By-law 2022-21, as amended, only three Delegations shall be scheduled for each meeting. The time limit of 10 minutes shall be strictly enforced.

Name of Individual(s) *

PAUL MEADE

Name of Organization:

Please provide the name of the organization you may be representing.

Please Provide an Email Address:

Please provide an email address for contact

Please provide a phone number:

Please provide a phone number for contact

[REDACTED]

Nature of delegation request: *

Please provide information on what you wish to present or discuss with Council

Requesting a possible plaque at the Douro -Dummer Park to recognize the members of the 1970 Douro Township Council and the Township Clerk who were responsible for the purchase of the land that became the Douro-Dummer Park

Please upload any additional information you wish to submit.

Please provide a signature *

[REDACTED]

For the purposes of the Freedom of Information and Protection of Privacy Act, by submitting this form, I/we authorize and consent to the use by, or the disclosure, to any person or public body or publishing on the Municipal website any information that is contained in this submission and recognize that my/our name may become part of the public record.

Thank You

Change the text for this message.

Lakefield College School is asking for site plan relief for building permits:

- DD-2024-0023 and DD-2024-0022

->These two projects are renovations and extensions to already existing buildings

->LCS wants to start this summer to minimize student and winter impacts.

-> Future projects (Parking Lots and New Access to Cnty Rd 29 will require a Site Plan submission)

Community Center and Extension

- Building a new Community Center with larger Dining and Event space as well as a student area
 - Reuses the existing Winder Smith Hall which is in need of revitalization
 - No significant changes to access or school population #'s
 - (We are planning to go up 5% in the next 5 years)
 - Drainage and utilities realign but do not change

Community Center and Extension

- Building an extension to the existing student block
 - Attached and part of the school block
 - New classrooms for more offerings/programs
 - New Dance Studio and fitness areas for the school
 - No change to access or significant school population #'s.
 - Drainage and Utilities realign but do not change

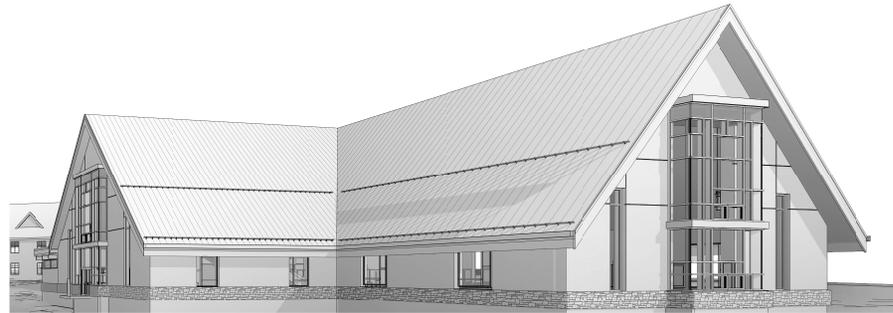
Rendering Community Hall

A902A-001_300"

Project Management: Matt, Dorothy, Aulay



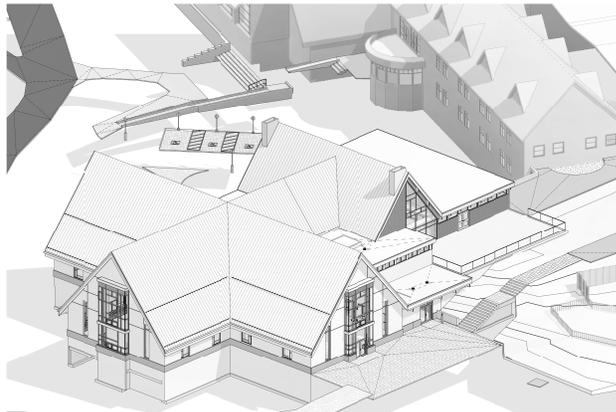
Unity Design Studios Inc.
138 Geneva Street
Painesville, OH 44060
419.743.3211
info@unitydesignstudios.com



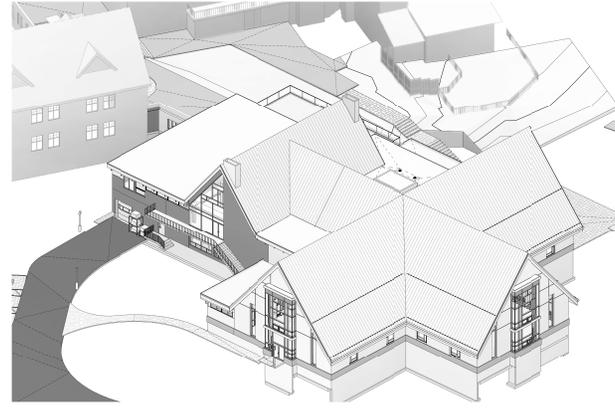
3 | NORTH-WEST PERSPECTIVE
A-902.A Scale

ISSUE / REVISIONS

ISSUE / REVISIONS	DATE
1. ISSUED FOR CLASS C PERMITS	MAY 04 23
2. ISSUED FOR DD SUBMIT	JUN 03 23
3. REVISIONS FOR PERMITS	MAY 02 23
4. ISSUED FOR PERMITS	JUL 27 23
5. ISSUED FOR CONSTRUCTION	OCT 06 23
6. ISSUED FOR ARCHIVES	MAY 06 24



2 | SOUTH AERIAL PERSPECTIVE
A-902.A Scale



1 | NORTH-WEST AERIAL PERSPECTIVE
A-902.A Scale



All dimensions to be checked and verified on site. Do not scale drawings. Any discrepancies are to be reported to the consultant. All drawings remain the property of the Consultant. Only sealed approved drawings to be used for construction.

CONSTRUCTION DOCUMENTS

PROJECT No. 22-113
START DATE FEB.28.23

LAKEFIELD COLLEGE
SCHOOL
BUILDING A -
COMMUNITY HALL

4201 County Rd.25
Lakefield, OH 43024

3D PERSPECTIVES

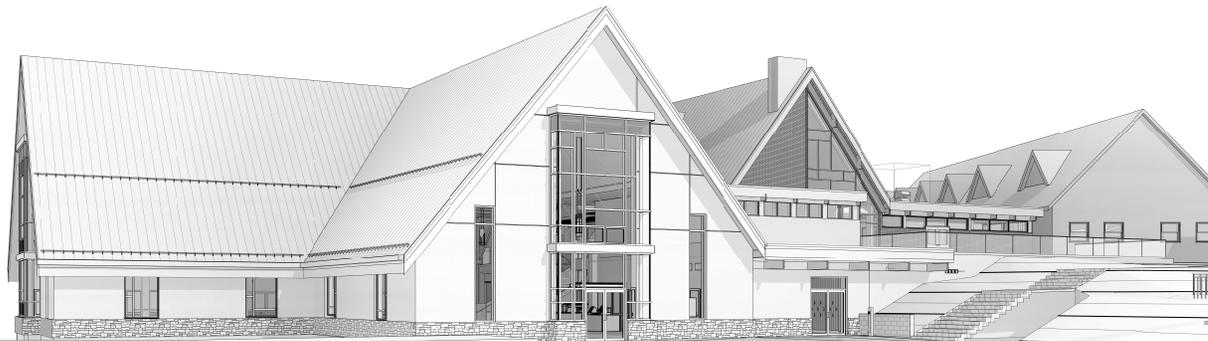
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Last Printed: 2023-05-04 10:54:42 AM
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User: William Witt
Plot Device: HP DesignJet 5000PSN
Plot Path: C:\Users\William Witt\OneDrive\Desktop\A902A-001_300.dwg

Community Hall North and South

A901.02A.1301

Project Manager/Author: Dawn IV. Aulitz



2 | SOUTH-WEST PERSPECTIVE
A-901.A Scale



1 | NORTH-EAST PERSPECTIVE
A-901.A Scale

LRF Project: 20200101010101
Filename: A901.02A.1301.dwg
Date: 02/28/2023 10:11:41 AM
User: DAVID



Unity Design Studio Inc.
128 Stevens Road
Palesburg, OH 43078-2700
703.743.3311
info@unitydesignstudio.com

ISSUE / REVISIONS
1. ISSUED FOR CLASS C
2. ISSUED FOR CONSTRUCTION
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CONSTRUCTION DOCUMENTS

PROJECT No. 22-113
START DATE FEB. 2023

**LAKEFIELD COLLEGE
SCHOOL
BUILDING A -
COMMUNITY HALL**

4301 County Rd. 29,
Lakefield, OH 43024

3D PERSPECTIVES

A-901.A

Project Management Inc. d/b/a Unity - Author

LAKELFELD COLLEGE SCHOOL PROJECT - 4391 COUNTY ROAD 29, LAKELFELD, ONTARIO



2 SITE PLAN
REF SCALE: 1:400

LEGAL DESCRIPTION & SITE STATISTICS

SCOPE OF PROJECT:
THE SITE IS LOCATED JUST NORTH OF THE DOWNTOWN CORE IN LAKEFIELD, ON, ALONG THE OTTAWA RIVER. THE SITE FRONTS COUNTY ROAD 29 WHERE VEHICULAR ACCESS CURRENTLY AND WILL CONTINUE TO EXIST IN A ONE-WAY DIRECTION.

VEHICULAR TRAFFIC DOWN TO THE TWO BUILDING SITES WILL BE TWO-WAY TRAFFIC. THE DROP-OFF ZONE IN FRONT OF THE EXTENSION IS CONTRACTED TO ACCOMMODATE A FUTURE TRAFFIC CIRCLE, WITH FULL FIRE ROUTE ACCESS. A SMALL PARKING AREA TO THE WEST OF THE COMMUNITY HALL WILL PROVIDE ACCESSIBLE PARKING SPACES, WITH TWO OF THEM BEING VAN ACCESSIBLE. THE REMAINDER OF THE PARKING FOR THE CAMPUS IS LOCATED ELSEWHERE AND IS SUFFICIENT ON THE SITE TO ACCOMMODATE ALL PARKING REQUIREMENTS, ENSURING PEDESTRIAN RIGHT-OF-WAY FROM PATHWAYS ACROSS ANY DRIVE ASILES IS A REQUIREMENT FOR THIS SITE.

THE COMMUNITY HALL WILL MAINLY SERVE AS A DINING SPACE WITH A COMMERCIAL KITCHEN. FOOD DELIVERIES FOR THIS KITCHEN WILL TAKE PLACE AT A LOADING DOOR ALONG THE NORTH WALL. AT THE NORTHWEST CORNER OF THE EXISTING WINDER SMITH BUILDING, DELIVERY TRUCKS WILL BE ABLE TO DRIVE DOWN THE DRIVE ASILE, THEN REVERSE DOWN A NEW HEAVY-DUTY ASPHALT PAVING TO THE LOADING DOOR. SCHOOL BUSES HAVE A DESIGNATED TURN-AROUND AREA IN AN EXISTING PARKING LOT, BUT WILL BE ACCOMMODATED IN THE FUTURE TRAFFIC CIRCLE.

LOCATION: 4391 COUNTY ROAD 29, LAKEFIELD, ONTARIO
LOT: PART OF LOTS 19 AND 20
CONVESSION: COM. / Z. (COMMERCIAL, TOWNSHIP OF DURO)
NEAREST INTERSECTION: COUNTY ROAD 29 AND TATE LANE
EXISTING EASEMENTS:

GEOTECHNICAL INVESTIGATIONS CONDUCTED BY:
CAMBERLIN STREET,
PETERBOROUGH, ON N3H 1E5
1-709-742-7000
http://www.camberlin.com

DESCRIPTION	P.I.N.	AREA
XXXXXXXXXXXX	XXXXX	500 m ² SQ. FT. ACRES

PARKING STATISTICS:
NOTWITHSTANDING THE PROVISIONS OF SECTION 4.2, MINIMUM NUMBER OF MOTOR VEHICLE PARKING SPACES TO BE PROVIDED AND MAINTAINED:
XXXXXXXXXXXXXXXXXXXX

BUILDING ENTRANCE LEGEND:

- MAIN ENTRANCE
- SECONDARY ENTRANCE
- SERVICE ENTRANCE
- EXIT ONLY

GRAPHICAL LEGEND:

- ASPHALT (PREFER TO CIVIL FOR REFERENCE TO HEAVY-DUTY OR LIGHT-DUTY ASPHALT PLACEMENT)
- EXISTING CONCRETE WALK (C.I.P. OR PAVERS) OR ASPHALT DRIVE
- STAMPED CONCRETE
- LIMESTONE SCREENING
- EXISTING BUILDING
- FIRE ROUTE



Unity Design Studio Inc.
138 Strickland Street
Peterborough, ON K9H 2H5
705 743 3311
info@unitydesignstudio.ca

ISSUE / REVISIONS

ISSUE / REVISIONS	DATE
1. DESIGN FOR CLASSIC	MAY 04/23
2. DESIGN FOR BUILDING PERMIT	MAR 08/24

NOTICE:
THE ISSUES OF THIS DRAWING ARE APPROVED BY THE ARCHITECT THAT THE CONSULTANT'S REPRESENTATION OF THE PROJECTS WILL BE PROVIDED AS SHOWN. CONFORMITY WITH THE DESIGN AND CONSTRUCTION OF THE PROJECTS IS NOT REPRESENTATION THAT THE CONSULTANT HAS A DESIGN THAT HAS BEEN PREPARED OR CONDUCTED BY OTHERS.
THE ISSUES OF THIS DRAWING REPRESENT THE SIGNIFICANT CHANGES IN THE WORK MADE DURING CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO THE CONSULTANT. ALL DRAWINGS REMAIN THE PROPERTY OF THE CONSULTANT. ONLY LATEST APPROVED DRAWINGS TO BE USED FOR CONSTRUCTION.

[SHEET NOTICE]

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DESIGN DEVELOPMENT
PROJECT No. 22-113
START DATE: MAR, 2023

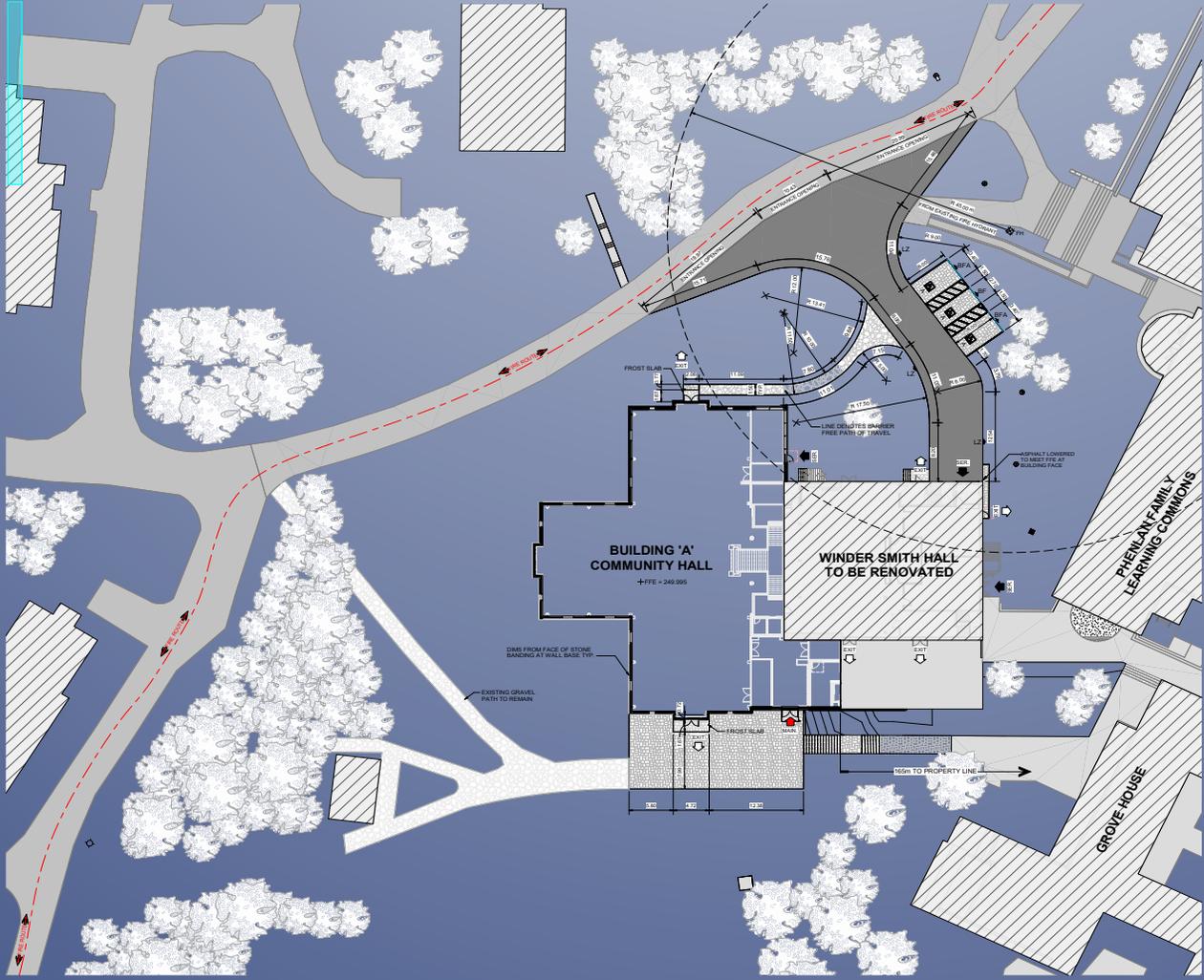
Lakefield College School
DINING & FITNESS, RENO & ADDITION

LCS CAMPUS
4391 COUNTY RD 29
Lakefield, ON K2L 2B0

CAMPUS SITE PLAN

AS-101

Project Management: Author
 TO: 10/21/2024



BUILDING ENTRANCE LEGEND:

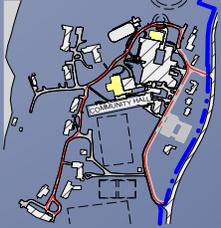
- MAIN ENTRANCE
- SECONDARY ENTRANCE
- SERVICE ENTRANCE
- EXIT ONLY

GRAPHICAL LEGEND:

- EXISTING CONCRETE WALK (C.I.P. OR PAVERS) OR ASPHALT DRIVE
- STAMPED CONCRETE
- LIMESTONE SCREENING
- EXISTING BUILDING
- FIRE ROUTE

Unity
 Unity Design Studio Inc.
 138 Simcoe Street
 Painesville, OH 44060
 756-743-3311
 info@unitydesignstudio.ca

ISSUE / REVISIONS
 2 ISSUED FOR BUILDING PERMIT MAR 08 24



NOTICE:
 The issuance of this record drawing is not a warranty, representation or endorsement by the architect of the construction, performance or operation of the building, but is a statement of professional opinion based on the information provided and approved by the architect for the construction of the building in accordance with the design prepared by the architect.

(SHEET NOTICE)

All dimensions to be checked and verified on site. Do not scale drawings. Any discrepancies are to be reported to the Consultant. All drawings remain the property of the Consultant. Only latest approved drawings to be used for construction.

DESIGN DEVELOPMENT
 PROJECT No. 23-113
 START DATE MAR. 2023

Lakeland College
 School
 DINING & FITNESS,
 RENO & ADDITION

LCS CAMPUS
 4501 County Rd 25,
 Lakeside, ON V6L 2Y0

ENLARGED SITE PLAN

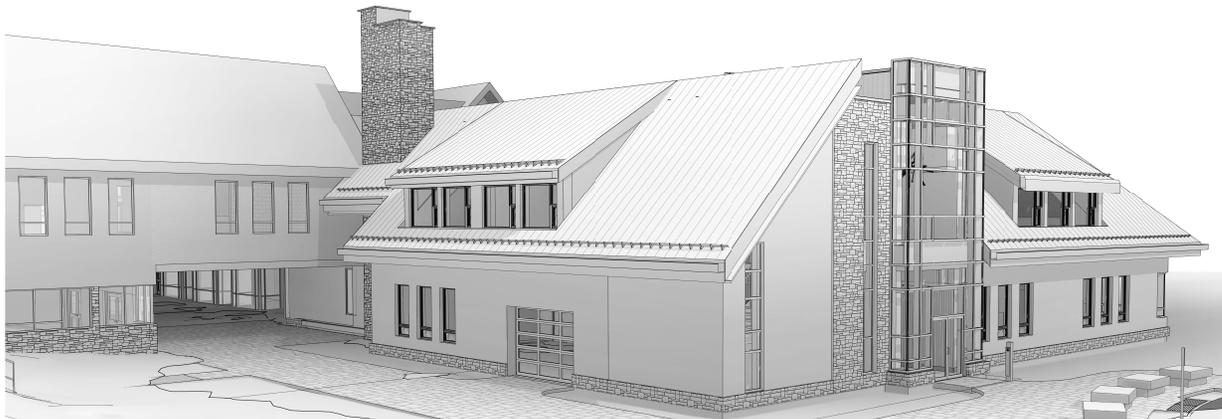
AS-102.A

1 ENLARGED SITE PLAN - COMMUNITY HALL
 AS-102.A 10/21/2024 2024 1:250

Rendering of the Extension

A901.B-100

Project Manager: J. Hall, Designer: M.C.P. P.M.S.



2 NORTH-EAST PERSPECTIVE
A901.B



1 NORTH-WEST PERSPECTIVE
A901.B

Last Printed: 2016-08-26 10:02:30 AM
Filename: A901.B-100-100-100-100-100-100.dwg
User: J. Hall



Unity Design Studios Inc.
138 Geneva Street
Pawlingburgh, ON N0T 2N0
R03 743 3211
info@unitydesignstudios.ca

ISSUE / REVISIONS

ISSUE / REVISIONS	DATE
1. ISSUED FOR CLASS C PROJECT	MAY 04 23
2. ISSUED FOR DD REVIEW	JUN 05 23
3. REVISIONS FOR APPROVAL	JUL 14 23
4. ISSUED FOR PERMIT	JUL 27 23
5. ISSUED FOR CONSTRUCTION	OCT 06 23
6. ISSUED FOR ARCHIVES	MAR 08 24



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CONSTRUCTION DOCUMENTS

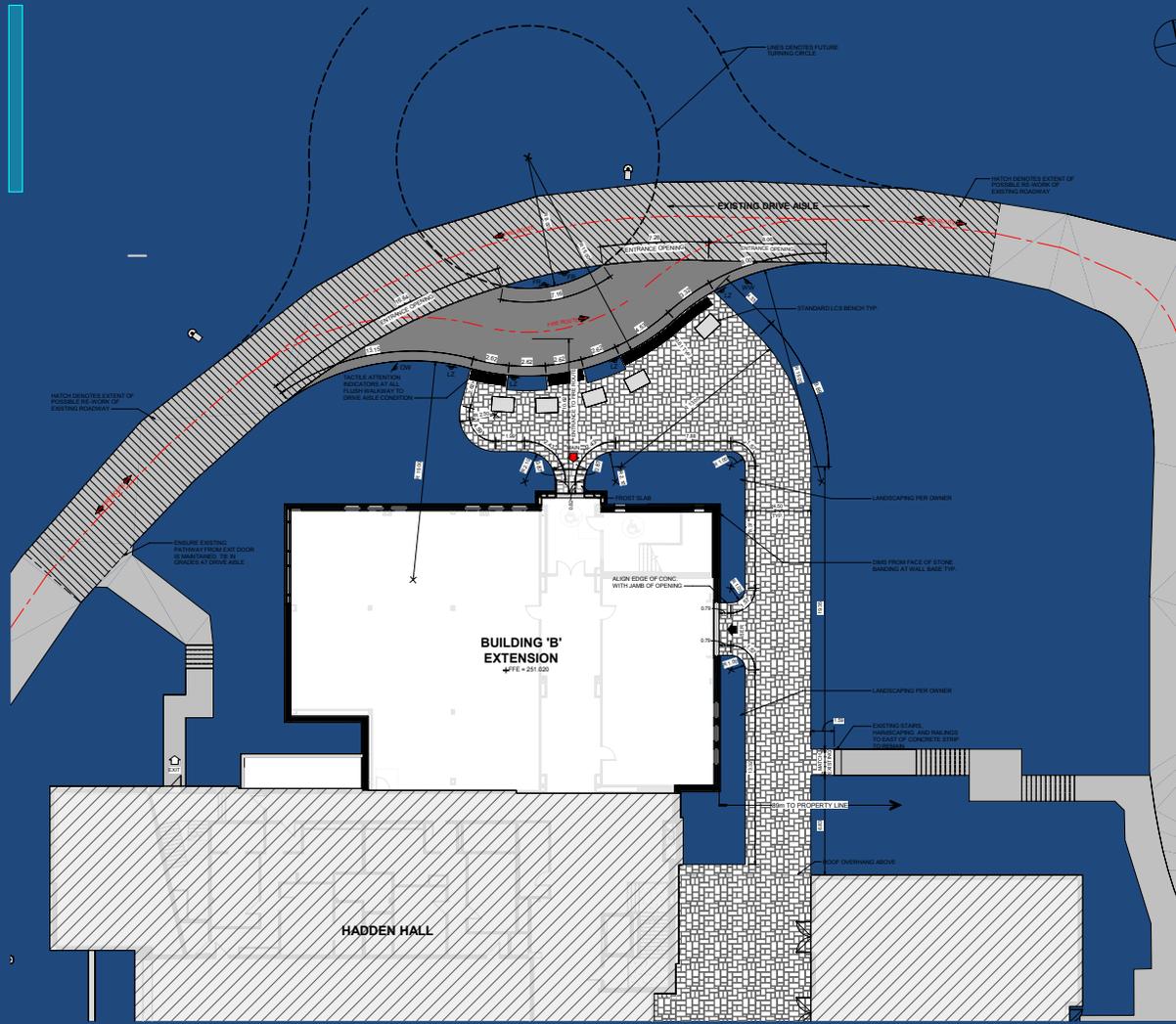
PROJECT NO. 22-113
START DATE FEB. 28. 23

LAKEFIELD COLLEGE SCHOOL
BUILDING B - EXTENSION

EXTENSION
4201 County Rd. 26
Lakefield, ON K0L 2P0

3D PERSPECTIVES

A-901.B



BUILDING ENTRANCE LEGEND:

MAIN ENTRANCE	↖
SECONDARY ENTRANCE	↘
SERVICE ENTRANCE	↙
EXIT ONLY	↗
SERVICE ENTRANCE	↘
EXIT ONLY	↗

GRAPHICAL LEGEND:

ASPHALT (REFER TO CIVIL FOR REFERENCE TO HEAVY DUTY OR LIGHT DUTY ASPHALT PLACEMENT)	▨
EXISTING CONCRETE WALK (C.I.P. OR PAVERS) OR ASPHALT DRIVE	▩
STAMPED CONCRETE	▧
LIMESTONE SCREENING	▦
EXISTING BUILDING	▨
FIRE ROUTE	→

Unity
 Unity Design Studio Inc.
 138 Siskiwit Street
 Lewiston, ME 04240
 207.743.5311
 info@unitydesignstudio.com



ISSUE / REVISIONS

1	ISSUE / REVISIONS	DATE
1	ISSUE / REVISIONS	DATE
2	ISSUE / REVISIONS	DATE

NOTICE
 The Designer of these drawings warrants that the construction of the project as shown on these drawings will conform to the applicable laws, codes and regulations. The Designer shall not be held responsible for the accuracy or completeness of the information provided by the client.

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[SHEET NOTICE]

All dimensions to be checked and verified on site. Do not reuse drawings. Any discrepancies are to be reported to the Consultant. All drawings remain the property of the Consultant. Only these approved drawings to be used for construction.

DESIGN DEVELOPMENT

PROJECT No. 25-113
 START DATE: MAR. 2022

Lakefield College School
DINING & FITNESS, RENO & ADDITION

103 CAMPUS
 4391 County Rd 25
 Lakefield, ME 04240

ENLARGED SITE PLAN

AS-102.B

1 ENLARGED SITE PLAN - EXTENSION
 DATE: 11/20/22
 SCALE: 1/8"=1'-0"

Township of Douro-Dummer

Report and Capital Project Status

- Directed by Council and/or CAO
- Directed by the Province/legislation
- Directed by an Agency
- New items and updates are highlighted in Yellow

Report Status

Department	Date Requested	Directed By	Resolution/Direction	Est. Report Date
Corporate	May 3, 2022	Council	Future Gravel Resources	Winter 2023/2024
Finance/Clerk	February 21, 2023	Council	Policy to allow for multi-year budgets	Summer 2024
Planning	June 7, 2022	Council/Province	Bill 109 – Update to Site Plan Control By-law, Create Pre-Consultation By-law, ensure the language in Official Plan allows for Peer Review as part of Complete Application	Changes pending release of final provincial regulations
Public Works/CAO	March 7, 2023	Council	Indacom Drive Lot 3	Deferred Pending Budget
Corporate	September 5, 2023	Council	Buildings Naming Rights and Memorials Policy	Spring 2024
Planning	March 19, 2024	Council	ZBA – Setback for Septic System and remove from list of structures	Summer 2024

Capital Project Status

Department	Capital Project List	Status
Fire	Douro Station Reconfiguration	Ongoing
Fire	Resurfacing of the parking lot at Fire Station 2	Regrading and Gravel Application are complete.
Fire	Master Fire Plan & Community Risk Assessment	Due 2024
Fire	Station 1 Building Review and Drawings	Due 2024
Fire	Station 2 Parking Lot Resurfacing – Paving	Due 2024
Fire	Boat 4 – Trailered Boat	Due 2024
By-law Enforcement	Truck Purchase	Due 2024
General Government	Demolition of Old House at Fifth Line	Complete
General Government	New Sloped Roof – Town Hall	Under Investigation
General Government	Asset Management Plan	Ongoing

General Government	Computer Modernization	Ongoing
General Government	Finance Modernization	In progress – will continue into 2024 - New Payroll Module in place – Jan 2023
General Government	Development Charge Study	Spring 2024
General Government	Strategic Plan	January 2024
General Government	Computer IT Hardware Replacements	Due 2024
General Government	Tree Program	Due 2024
General Government	Storage Rom Exterior Door Replacement	Due 2024
Parks and Recreation	Parks and Rec Master Plan – Implementation	On hold due to Covid-19
Parks and Recreation	Tables and Chairs	Complete
Parks and Recreation	Lime Kiln Restoration – 2022 Budget	Spring 2023
Parks and Recreation	Consultant Fees – Arena Facilities Future Ad-Hoc Committee	Fall 2023
Parks and Recreation	Compressor Replacement Reserve Contribution	2024

Parks and Recreation	New Park Trailer	Complete
Parks and Recreation	30Hp Compressor Replacement	Due 2024
Parks and Recreation	Roof Repair	Due 2024
Parks and Recreation	Energy Audit	Due 2024
Planning	Zoning By-Law Update	On hold until Province Approves OP
Planning	Proposed Provincial Planning Statement	Comments provided to County and Province. Waiting on approval by Province.
Public Works	Gravel Pit Purchase	Late 2023 Ongoing
Public Works	Brushing Unit	RFP Closed April 5, 2024
Public Works	Plow Truck	RFP Awarded – 2025 Delivery

Recommendation:

That the Fire Chief-2024-04 report, dated April 16, 2024, regarding Fire Department Paging be received and that Council authorizes the Clerk to sign the Bell Paging Agreement as it is circulated through the participating municipalities.

Overview:

Peterborough County fire departments have used pagers as the primary emergency notification system for volunteer firefighters for decades. Voice paging was originally used, but that was upgraded to the alphanumeric paging system for better coverage and privacy protection.

Our current paging system is owned and operated by TAS Page, who also provided paging services for a variety of other users, such as transportation services, realtors, and medical personnel. Since the expansion of smart phones and apps, the demand for paging services has dwindled down to primarily fire departments; as a result, we have seen a significant increase in cost and TAS Page's future business model does not include paging.

At a meeting of the Peterborough County Fire Chiefs Association (PCFCA) on November 30, 2021, a committee was created to explore options for future paging coverage. The committee was made up of three members whose primary roles were to explore paging options while ensuring compatibility with the fire dispatch center. The members of the committee were the Fire Chief of Douro-Dummer, the Fire Chief of Trent Lakes and Deputy Chief from the City of Peterborough, who's primary role was to ensure systems were compatible with fire dispatch. Each municipality has had representation through their fire chief and/or deputy fire chief at meetings, presentations and via email correspondence. The committee also presented their findings and recommendation to the CAOs within Peterborough County.

The committee discussed the following 6 options and the associated challenges/benefits:

1. Continue with existing infrastructure
2. Kronos Simulcast system (handled by Kenwood/Bearcom)
3. Swissphone DiCal system
4. Two tone voice analog paging
5. Two tone voice digital paging
6. No paging - rely on the Who's Responding App

The County Fire Chiefs had presentations from Kenwood, Bell and Swissphone, and discussions with the current paging provider. Key points and considerations that came out of these meetings included:

- Paging notification and radio communication should be on separate systems, so that if you lose one, you don't lose both.
- Towers should be CSA approved to withstand storms.

- Redundancy of the paging system must be created - if one location is damaged, we need to have reliable redundancies in place to ensure continuous, seamless paging. We also need to consider what redundancies are in place for dispatch center interruptions.
- Company profiles should be thoroughly examined to ensure the right fit. Many service providers are smaller companies, have been bought out by larger companies or close their business. This leaves a risk of discontinued services (like what we are facing now). Any providers selected for the project should have experience with paging systems; including building, set up and long-term service support.
- Monitoring of the system, with a reliable notification and response system, must take place 24/7/365.
- Service agreements, including preventative maintenance must be included, as well as details regarding response time to loss of services 24/7/365.
- Immediate availability of spare, replacement equipment should be included in any proposal.
- Tower sites should have secured, back-up power options, such as a generator.
- The Who's Responding App is not marketed as a primary notification system.

Based on the proposed options and feedback, both from Fire Departments and CAOs, the PCFCA Paging Review Committee recommended to pursue the Swissphone DiCal/Bell system proposal, owned by Bell.

The Swissphone DiCal system provides a high quality, advanced paging solution that fulfills the need to have a disaster-resistant emergency notification system. This is achieved with dispatch CAD integration, a back-up system at dispatch, at the alternate dispatch center, plus a tablet that can run paging notifications in the event of a CAD or critical network failure. Ring technology is used from tower site locations and continuous monitoring of the system to ensure seamless operations. Paging infrastructure is not shared with emergency radio infrastructure.

The Swissphone DiCal has been dominant in European countries and is widely used in the United States, with adoption also occurring within Ontario. Recently the Swissphone DiCal/Bell system was the solution of choice for the two major cities in Ontario. The committee did engage with those two cities to discuss these projects. Because Bell is a Public Safety Network with long-term stability, they are the service provider of choice. Bell has the capacity to provide 24/7/365 monitoring with reasonable technician support timelines. All of Bell's towers are CSA approved, have battery backup, and meet NFPA standards. Of the seven Bell sites that were included in the Swissphone DiCal design for Peterborough County, 5 have an automatic back-up generator and 2 have generator ready hook-ups.

Conclusion:

Peterborough County Fire Departments needs a new paging system. After extensive research, meetings, and presentations, we believe the Bell owned Swissphone DiCal system is the best option to provide reliable emergency paging for fire departments.

Financial Impact:

Historically, we have benefited with a low-cost solution for the use of paging due to other agencies sharing that cost of the infrastructure required. Now that most of those agencies have opted out of paging, our niche requirements will be costlier.

The 2024 budget included the anticipated cost for paging as a partial year due to the timeline to build the new system. The attached agreement is for a seven-year term and the cost is fixed for that period. The cost for each municipality is approximately \$62,000 per year.

Report Approval Details

Document Title:	Fire Paging System.docx
Attachments:	
Final Approval Date:	Apr 9, 2024

This report and all of its attachments were approved and signed as outlined below:

Martina Chait-Hartwig

RADIO SERVICES AGREEMENT

This Agreement is between

The Corporation of the Township of Cavan Monaghan, 988 County Road 10, Millbrook On, L0A 1G0 (“Cavan Monaghan”)

AND

The Corporation of the Township of Douro-Dummer, 894 South Street, P.O. Box 92, Warsaw, ON K0L 3A0 (“Douro-Dummer”)

AND

The Corporation of the Municipality of Trent Lakes, 760 Peterborough County Road 36, Trent Lakes, Ontario K0M 1A0 (“Trent Lakes”)

AND

The Corporation of the Township of Havelock-Belmont-Methuen, 1 Ottawa St E., P.O. Box 10 Havelock Ontario, K0L1Z0 (“Havelock-Belmont-Methuen”)

AND

The Corporation of the Township of North Kawartha, 280 Burleigh Street, PO Box 550 Apsley, ON K0L 1A0 (“North Kawartha”)

AND

The Corporation of the Township of Otonabee-South Monaghan, 20 Third Street P.O. Box 70 Keene, On K0L 2G0 (“Otonabee-South Monaghan”)

AND

Bell Mobility Inc. a corporation incorporated under the laws of Canada, having its registered office at 1050 Côte du Beaver Hall, Montréal, Québec, H2Z 1S4 (“**Bell**”)

For valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties agree as follows:

1. AGREEMENT AND SCHEDULES

- 1.1. Townships: The following 6 entities are each individually defined as a “**Township**”: Cavan Monaghan; Douro-Dummer; Trent Lakes; Havelock-Belmont-Methuen; North Kawartha; and Otonabee-South Monaghan. All Townships together are jointly considered the Customer, and are jointly and severally liable under this agreement for all obligations including but not limited to the payment of Fees.
- 1.2. Services and Products: The Customer requests and Bell will provide to the Customer the services and products described in each schedule attached to, and forming part of, this agreement from time to time (a “**Schedule**”) in accordance with the terms and conditions of this agreement. Altogether, the terms and conditions set out in this agreement, and the applicable Schedules form the “**Agreement**”.

- 1.3. Services: Services purchased pursuant to the Agreement (each a “**Service**”, collectively the “**Services**”), and additional terms and conditions applicable to the provision of the Service(s) are described in Schedules attached to this Agreement from time to time (each a “**Service Schedule**”), as further described in Section 2.
- 1.4. Products: Equipment (including Purchased Equipment), maintenance services, software and/or firmware purchased pursuant to the Agreement (each a “**Product**”, collectively the “**Products**”), and additional terms and conditions applicable to the provision of Product(s) are described in Schedules attached to this Agreement from time to time (each a “**Product Schedule**”).
 - (a) Customer assumes the risk of loss and damage to any Product that has been delivered to its premises. The Product is billable to the Customer upon delivery, provided that the Product was ordered by Customer, and the Product is not visibly damaged. Title to Product shall transfer to Customer upon payment in full of all Fees and Taxes (as defined below). Once title and risk of loss has passed to Customer, Bell is not responsible for any defect in the Product.
 - (b) By installing or using Products, Customer agrees that any hardware or software included with the Product purchase is licensed, and otherwise subject to conditions of use, strictly in accordance with the terms provided by the OEM (“**OEM Terms**”). The OEM Terms are a binding contract directly between Customer and the OEM, formed upon the installation or use of the Product by Customer. Bell will have no liability to Customer in connection with such Product and any warranty, indemnity and liability for Product will be provided by the OEM as set out in the OEM Terms.
 - (c) Unless otherwise set out in a Product Schedule, Customer is responsible for payment of all charges for transportation, duty, customs clearance, insurance, brokerage, as well as any other applicable charges and costs from the point of shipment of the Product.
- 1.5. The **Agreement** include the following:
 - (a) The main body of this Agreement;
 - (b) The following schedules are attached to and form part of this Agreement:

Schedule 1	Statement of Work
Schedule 2	Fees and Charges
- 1.6. If there is any conflict between the terms of the main body of this Agreement and the Schedules, the terms of the main body of this Agreement shall govern unless otherwise expressly providing in writing in a Schedule.

2. **SCOPE**

- 2.1. Managed Services for Equipment. Bell will manage the radio equipment (“**Statement of Work**”) in accordance with Schedule 1 for the Fees set out in Schedule 2.
- 2.2. Bell Providers: Bell may perform its obligations under this Agreement through its affiliates (as defined in the *Canada Business Corporations Act*) (an “**Affiliate**”), agents, suppliers or subcontractors (the “**Bell Providers**”), but Bell shall not be relieved of its obligations by using the Bell Providers.

3. **FEES**

- 3.1. Fees and Late Payment Charges. The Customer shall pay fees for the Services and the Product price as set out in Schedule 2, plus any other money owed pursuant to a Change, Termination Charges, or any other provision of this Agreement (together, the “**Fees**”). The Customer shall also pay applicable commodity taxes, and similar

taxes levied or assessed by any local and/or government authority, as well as surcharges for foreign taxes or those imposed by third-party providers, and withholding tax, if any (collectively, "**Taxes**"). Customer shall pay Fees and Taxes shall be due and payable no later than thirty (30) days from Customer's receipt of the invoice (the "**Payment Due Date**"). Customer agrees to remit payment to Bell at the remittance address set out in the invoice. Without limiting Bell's remedies at law or in equity (including withholding delivery of the Purchased Equipment), in the event that Customer fails to make full payment of any amounts due, including any interest owing on such amounts as calculated in accordance with this Section 3.1 (the "**Balance**"), to the proper address on or before the Payment Due Date, Customer shall also pay interest on the unpaid Balance in an amount equal to the lesser of (i) three percent (3%) of the unpaid Balance per month (or 42.58% per year), and (ii) the maximum lawful rate of interest permitted under law, which interest shall accrue from the Payment Due Date.

- 3.2. No Withholding, Deduction or Set-Off: Customer shall not withhold or deduct any amounts from, or set-off amounts owed by Bell or a Bell Affiliate to Customer against any amounts invoiced by Bell or a Bell Affiliate under this Agreement.
- 3.3. Disputed Charges: The Customer shall notify Bell in writing within 150 days of the date of the applicable invoice of any charges that Customer disputes. If Bell determines, acting reasonably, that those charges should not have been billed or were over-billed, Bell will credit Customer for those charges.
- 3.4. Townships Split Evenly: Subject to Section 1.1 of the Agreement, the Townships have agreed to pay all Fees owed under this Agreement evenly in shares of 1/6th per Township, unless otherwise agreed-upon in writing. Should any Township wish to exit this Agreement, they will continue to be responsible for their share of Fees owed for the duration of the Agreement

4. CHANGE MANAGEMENT

- 4.1. Any changes to the Services ("**Changes**") will be agreed upon by the parties in writing, except as otherwise set out in this Section 4.
- 4.2. Customer acknowledges that certain Changes are mandatory because they are prescribed by applicable law or are otherwise required pursuant to Section 4.4 of this Agreement.
- 4.3. Bell may, acting reasonably, make changes to or replace the Bell Provided Equipment in Customer's care and control and used in connection with the provision of the Services, provided that (i) Bell provides Customer with 90 days advance written notice of any such changes or replacement of Bell Provided Equipment where such changes or replacement will require a corresponding change in Customer's equipment, and (ii) any such changes or replacement of Bell Provided Equipment do not change the functionality of the related Services. "**Bell Provided Equipment**" means all material, equipment and software required for Customer to use the Services or Products and made available to Customer by Bell or the Bell Providers, and any other software and equipment, used by Bell in the provision of the Services.
- 4.4. Bell may make adjustments or deviations from time to time to the Services, without Customer's prior consent, provided that any such adjustments or deviations do not result in any material degradation of the Services, or any additional Fees.

5. RADIO FREQUENCIES

- 5.1. Customer shall be responsible to obtain and maintain, during the Term, the required licenses from the applicable governmental authorities with respect to the use of radio frequencies necessary in order to enable the operation and use of the radio equipment in accordance with this Agreement.
- 5.2. The parties confirm that as of the Effective Date it is their intention that the licensed spectrum (identified in the specifications) will be used by Bell in the design and operation of the Services, and that Bell's ability to deliver the

Services in such spectrum is subject to Innovation, Science and Economic Development Canada (ISED), the Government of Canada's regulatory body responsible for radio frequency spectrum management (the "**Regulator**"), granting licenses in the licensed spectrum to Customer.

- 5.3. Customer shall apply to the Regulator for authorization and approval of the licensed spectrum for the operation of the Services. Bell agrees to provide on a time and materials basis, such assistance in the preparation of the application as Customer may reasonably require. Subject to receipt of confirmation from the Regulator that the Services is authorized and approved to operate in the licensed spectrum, Customer shall, within seven (7) business days thereafter, execute and deliver to Bell an authorization in the Bell required format to enable Bell to apply to the Regulator for the issuance of the licensed spectrum that are required by Bell to operate and maintain the Services pursuant to the terms of this Agreement.
- 5.4. Customer shall be responsible, at its own expense, for payment to the Regulator of all fees and costs associated with the issuance, maintenance, modification or renewal of licensed spectrum that is required for the Services, including in respect of any licensed spectrum that is required and issued for any additional authorized users of the Services. Customer shall provide written confirmation to Bell annually, within thirty (30) days of date of payment, that all such payments have been duly made.
- 5.5. In addition to the authorization referred to in Section 5.2, Customer agrees that it will also execute and deliver to Bell, any additional authorizations that Bell may reasonably require during the Term to enable Bell to operate the Services and to perform its obligations under this Agreement.
- 5.6. Customer acknowledges that Bell cannot deliver the Services in the licensed spectrum until the authorization referred to in Section 5.2 has been delivered by Customer to Bell, and that Bell shall not be required to apply to the Regulator for the issuance of licensed spectrum for the Services, or to provide the Services on the licensed spectrum, unless the Regulator has approved the licensed spectrum for the Services and Customer has delivered that authorization to Bell.
- 5.7. Bell shall not be authorized at any time during the Term to submit a request to the Regulator for any amendment, change, termination or cancellation of any licensed spectrum that have been issued in respect of the Services, unless Bell has received written authorization from Customer to submit such request to the Regulator.
- 5.8. The parties confirm that the management of any simplex licenses, and the license fees payable to the Regulator in respect thereof, that are required and used for direct radio to radio communications without the use of the Services are the sole responsibility of Customer.

6. PERSONAL INFORMATION AND PRIVACY

"Personal Information" means information relating to an identified or identifiable individual that Customer make available to Bell, directly or indirectly, in connection with this Agreement as defined in Section 2(1) of the Personal Information Protection and Electronic Documents Act (S.C. 2000, C.5), as may be amended, interpreted or replaced ("PIPEDA"). The parties shall comply with their respective obligations under Applicable Law relating to privacy and data protection, including PIPEDA and CASL, and any successor legislation. Bell may only use, access, manage, transfer, disclose or otherwise process Personal Information provided by or on behalf of Customer to fulfill the purposes for which it was made available. Bell acknowledges that it will implement and maintain the appropriate technological, physical and organizational security measures required to protect Personal Information. If the Parties reasonably believe that: (a) there has been a breach of security safeguards; and (b) such breach creates a risk to Personal Information, then they will notify each other. If a third party requires Bell to provide access to Customer's Personal Information pursuant to Applicable Law, Bell shall notify Customer. The parties shall reasonably cooperate with each other in connection with any access requests for Personal Information. Notwithstanding anything to the contrary in this Agreement, Bell shall promptly return to Customer or destroy all Personal Information which is no longer necessary to fulfill the purpose(s) for which it was made available, unless otherwise instructed.

7. TERM AND TERMINATION

- 7.1. Term. The term of this Agreement shall commence upon the date of final signature (the “**Effective Date**”), and shall remain in full force and effect for a period of seven (7) years (the “**Initial Term**”).
- 7.2. Termination for Default. Bell may, in its absolute discretion, and in addition to all other rights and remedies under this Agreement and in law, immediately terminate this Agreement or suspend the Services provided to Customer hereunder by notice to Customer prior to the end of the Term, for breach by Customer of any material term of this Agreement, including the failure by Customer to make full payment of an invoice by the Payment Due Date, provided that Bell provides Customer with written notice of the breach and provided further that the breach is not remedied within fifteen (15) days after the delivery of such notice to Customer.
- 7.3. Termination for Insolvency. Either party shall be entitled to terminate this Agreement immediately with written notice in the event of the other party's insolvency, receivership or voluntary or involuntary bankruptcy.
- 7.4. Termination for Convenience. Customer may terminate this Agreement, or the Services, on ninety (90) days written notice to Bell, provided that Customer pays the Termination Charges set forth in Section 6.5.
- 7.5. Termination Charges. In the event Customer wishes to terminate this Agreement or the Services for convenience in accordance with Section 6.4 hereof, or this Agreement is terminated by Bell for default on the part of Customer, Customer shall pay to Bell, as liquidated damages, and not as a penalty, an amount equal to (a) 100% of the reasonable out of pocket expenses that Bell incurs or will incur in connection with its contractual arrangement with any third party providers of the radio equipment or the provision of the Services, as well as (b) to 100% of Fees applicable to the Services that would have been payable to the end of the Term (together, the “**Termination Charges**”). The Termination Charges shall be payable by Customer in accordance with the payment provisions of this Agreement, in one single payment.

8. WARRANTIES

- 8.1. Each party makes the following representations, warranties and covenants to the other party as of the date of execution and continuing during the Term:
 - a) It is a corporation duly incorporated or a partnership or sole proprietorship duly registered and validly existing under the laws of its jurisdiction of incorporation or registration and has all necessary corporate power and authority to carry on business;
 - b) It has full power, legal right and authority to authorize the creation, execution, delivery and performance of the Agreements; and
 - c) It is in compliance and shall continue to comply with all applicable laws and regulations with respect to its performance under the Agreements.
- 8.2. Warranty and Repair on Radio Equipment. Customer acknowledges any Purchased Equipment sold hereunder is subject to the terms and conditions of the original manufacturer's warranty, plus any additional warranties as purchased by Customer for any Purchased Equipment. Bell will support and if requested, provide repair service to all Purchased Equipment for a minimum of 10 years on a time and material basis. By installing or using the Purchased Equipment, Customer agrees that any software contained therein is licensed for use strictly in accordance with its license terms, and Customer will comply and be bound by the software license terms provided with the Purchased Equipment. Any additional support for Purchased Equipment not contemplated as of the execution of this Agreement must be processed as a Change, and pricing for any related maintenance will be set out in the applicable Change.

- 8.3. Exclusion of Warranty. BELL DOES NOT WARRANT THAT ANY OF THE SERVICES, AND RADIO EQUIPMENT MADE AVAILABLE HEREUNDER OR DEVICES USED IN ASSOCIATION THEREWITH, WILL OPERATE UNINTERRUPTED OR ERROR FREE, THAT ALL DEFICIENCIES, ERRORS, DEFECTS OR NON-CONFORMITIES WILL BE OR ARE CAPABLE OF BEING CORRECTED, OR THAT THE PROVISION OF THE SERVICES WILL MEET WITH ANY PERSON'S SPECIFIC REQUIREMENTS. FOR GREATER CERTAINTY, AND WITHOUT LIMITING THE GENERALITY OF THE FOREGOING, BELL DISCLAIMS ANY REPRESENTATIONS, WARRANTIES AND CONDITIONS, EXPRESS, IMPLIED OR STATUTORY IN RESPECT OF THE RADIO EQUIPMENT OR SERVICES. PURCHASER HEREBY ACKNOWLEDGES THAT THE USE OF THE RADIO EQUIPMENT OR SERVICES MAY BE TEMPORARILY REFUSED, INTERRUPTED, OR LIMITED AT ANY TIME BECAUSE OF, AMONG OTHER THINGS: (I) LIMITATIONS OF NETWORK, INCLUDING WITHOUT LIMITATION, CONGESTION; (II) TRANSMISSION LIMITATIONS CAUSED BY ATMOSPHERIC, TOPOGRAPHICAL OR OTHER FACTORS; OR (III) EQUIPMENT MODIFICATIONS, UPGRADES, RELOCATIONS, REPAIRS, AND OTHER SIMILAR ACTIVITIES NECESSARY FOR THE PROPER OR IMPROVED OPERATION OF THE SERVICES.
- 8.4. Risk of Loss. Customer is responsible for any risk of loss or damage to the Purchased Equipment upon the delivery of the Purchased Equipment by Bell. Title to the Purchased Equipment will pass to Customer upon full payment of the purchase price (set out in Schedule 2) for such Purchased Equipment to Bell.
- 8.5. Prohibitions. Customer shall not resell or remarket the Radio Access Network Services.

9. LIABILITY

- 9.1. Limitation of Liability. BELL'S TOTAL CUMULATIVE LIABILITY FOR DAMAGES, EXPENSES, COSTS, LIABILITY OR LOSSES (COLLECTIVELY, "DAMAGES") ARISING OUT OF OR IN CONNECTION WITH THIS AGREEMENT OR THE PROVISION OF SERVICES, IF ANY, WHETHER ARISING IN NEGLIGENCE, TORT, STATUTE, EQUITY, CONTRACT, COMMON LAW, OR ANY OTHER CAUSE OF ACTION OR LEGAL THEORY EVEN IF BELL HAS BEEN ADVISED OF THE POSSIBILITY OF THOSE DAMAGES, IS LIMITED TO DIRECT, ACTUAL, PROVABLE DAMAGES AND WILL IN NO EVENT EXCEED THE GREATER OF AN AMOUNT EQUAL TO THE TOTAL AGGREGATE MONTHLY FEES PAID BY THE CUSTOMER FOR THE SPECIFIC SERVICE(S) THAT GAVE RISE TO THE DAMAGES, DURING THE THREE-MONTH PERIOD BEFORE THE EVENT GIVING RISE TO THE DAMAGES, LESS AMOUNTS PAID FOR PREVIOUS CLAIMS, IF ANY.
- 9.2. BELL IS NOT LIABLE TO CUSTOMER OR ANYONE USING THE PRODUCT OR THE SERVICES, OR ANY THIRD PARTIES, FOR THE FOLLOWING:
- (i) DEFECTS, FAILURES OR INTERRUPTIONS IN SERVICE, INCLUDING TRANSMISSION);
 - (ii) ANY DAMAGES, INCLUDING LOSS OF PROFITS, LOSS OF PROPERTY, LOSS OF EARNINGS, LOSS OF BUSINESS OPPORTUNITIES, OR ANY OTHER LOSS, HOWEVER CAUSED, ARISING DIRECTLY OR INDIRECTLY FROM USE OF THE SERVICES OR THE PRODUCT;
 - (iii) ANY BREACH BY CUSTOMER OF THE AGREEMENT, CUSTOMER'S NEGLIGENCE, OR ACTS OR OMISSIONS IN CONNECTION WITH THE SERVICES, OR THE PRODUCT; OR
 - (iv) ANY INDIRECT, INCIDENTAL, SPECIAL OR CONSEQUENTIAL DAMAGES WHATSOEVER ARISING OUT OF OR IN CONNECTION WITH THIS AGREEMENT OR THE PROVISION OF SERVICES (INCLUDING LOST PROFITS, ANTICIPATED OR LOST REVENUE, LOSS OF DATA, LOSS OF USE OF ANY INFORMATION SYSTEM, FAILURE TO REALIZE EXPECTED SAVINGS OR ANY OTHER COMMERCIAL OR ECONOMIC LOSS, OR ANY THIRD PARTY CLAIM), WHETHER ARISING IN NEGLIGENCE, TORT, STATUTE, EQUITY, CONTRACT, COMMON LAW, OR ANY OTHER CAUSE

OF ACTION OR LEGAL THEORY EVEN IF BELL HAS BEEN ADVISED OF THE POSSIBILITY OF THOSE DAMAGES.

- 9.3. Limitation of Liability Fair and Reasonable. CUSTOMER AGREES THAT THE LIMITATIONS OF LIABILITY SET OUT IN THIS SECTION ARE FAIR AND REASONABLE IN THE COMMERCIAL CIRCUMSTANCES OF THIS AGREEMENT AND THAT BELL WOULD NOT HAVE ENTERED INTO THIS AGREEMENT BUT FOR CUSTOMER'S AGREEMENT TO LIMIT BELL'S LIABILITY IN THE MANNER, AND TO THE EXTENT, PROVIDED FOR IN THIS SECTION.
- 9.4. Delays Beyond Bell Control. Bell will not be responsible for any delays due to circumstances beyond its control. Bell shall be responsible for all other delays.
- 9.5. Liability for Radio Equipment Failure. Notwithstanding anything to the contrary contained in this Agreement, Bell's liability for any Purchased Equipment failure directly caused by Bell's negligence is limited to the cost of repair or replacement of the applicable Purchased Equipment parts, and is subject to the limitations set out in Section 8.1.

10. ARBITRATION

- 10.1. In the event of a dispute or difference between the parties arising out of or in connection with this Agreement or in respect of any defined legal relationship associated with it or derived from it including any failure to reach agreement where an agreement is required (a "**Dispute**"), the parties shall make all reasonable efforts to resolve the dispute by amicable negotiations. In this regard, senior representatives of each party shall, as soon as practicable and in any event no later than ten (10) business days after a written request from either party to the other, meet in good faith to resolve any Dispute. If, despite such meeting, the parties are unable to resolve a Dispute within a reasonable time, and in any event within thirty (30) business days of such written request, the Dispute shall, at the initiation of either party, be referred to binding arbitration, with an arbitrator to be selected by agreement between the parties.
- 10.2. Notwithstanding any other provision of this Agreement, a party may apply for and receive interim or injunctive relief from a court of competent jurisdiction (whether as a temporary restraining order, preliminary injunction or otherwise) or specific performance at any time prior to the appointment of an arbitrator or if the arbitrator is unavailable on an urgent basis.

11. CONFIDENTIALITY

- 11.1. Confidential Information. Neither party shall use any information which is of a confidential or proprietary nature of the other party concerning this Agreement or other material intended for use in connection with this Agreement (the "**Confidential Information**"), except for the purposes of performing their obligations or exercising their rights under this Agreement (the "**Purpose**"), or disclose to any third party such Confidential Information, in each case without the prior written consent of the other party. For greater certainty, Bell hereby grants consent to Customer for the disclosure of Confidential Information to independent contractors and Customer hereby grants consent to Bell for the disclosure of Confidential Information to Bell Providers, in each case to the extent required for the Purpose.

12. COMPLIANCE WITH LAW

- 13.1 Both parties shall comply with all applicable federal, provincial and local laws, regulations and rules.

13. GENERAL

- 13.1. Governing Law. This Agreement shall be governed by the laws in the Province of Ontario and the federal laws of Canada applicable therein.

- 13.2. Assignment. This Agreement is not assignable without the prior written consent of Bell or Customer. Any attempt by Bell or Customer to assign any of the rights, duties, or obligations of this Agreement without written consent is void. Bell shall have the right, upon reasonable prior written notice to Customer, to assign this Agreement to an Affiliate provided that, if requested by Customer, Bell or the Affiliate shall provide, a parent company guarantee to Customer in form and substance satisfactory to Customer that will secure the execution of the Affiliate's obligations under this Agreement.
- 13.3. Headings. The division of this Agreement into sections and the insertion of headings are for convenience of reference only and are not to affect the construction or interpretation of this Agreement.
- 13.4. Extended Meanings. Words expressed in the singular include the plural and vice versa and words in one gender include all genders.
- 13.5. Currency. Unless otherwise indicated, all dollar amounts referred to in this Agreement are in lawful money of Canada.
- 13.6. Force Majeure. If there is a default or delay in a party's performance of its obligations under this Agreement (except for the obligation to pay Fees), and the default or delay is caused by circumstances beyond the reasonable control of that party including fire, flood, earthquake, elements of nature, pandemics, acts of God, explosion, power failure, war, terrorism, revolution, civil commotion, acts of public enemies, law, order, regulation, ordinance or requirement of any government or its representative or legal body having jurisdiction, or labour unrest such as strikes, slowdowns, picketing or boycotts, then that party shall not be liable for that default or delay, and shall be excused from further performance of the affected obligations on a day by day basis, if that party uses commercially reasonable efforts to expeditiously remove the causes of such default or delay in its performance.
- 13.7. Severability. In the event any provision of this Agreement, as amended from time to time, is deemed invalid or void, in whole or in part, by any court of competent jurisdiction, the remaining terms and provisions of this Agreement remain in full force and effect.
- 13.8. Binding Effect and Enurement. This Agreement enures to the benefit of and binds the parties and their respective successors and permitted assigns.

REST OF PAGE INTENTIONALLY LEFT BLANK

IN WITNESS WHEREOF the parties have executed this Agreement on the Effective Date.

The Corporation of the Township of Cavan Monaghan	The Corporation of the Township of Douro-Dummer
Authorized Signature of Township	Authorized Signature of Township
Name	Name
Title	Title

The Corporation of the Municipality of Trent Lakes	The Corporation of the Township of Havelock-Belmont-Methuen
Authorized Signature of Township	Authorized Signature of Township
Name	Name
Title	Title

The Corporation of the Township of North Kawartha	The Corporation of the Township of Otonabee-South Monaghan
Authorized Signature of Township	Authorized Signature of Township
Name	Name
Title	Title

Bell Mobility Inc.
Authorized Signature of Bell
Name
Title

Recommendation:

That the Treasurer-2024-06 report, dated April 16, 2024, regarding 2023 Council Remuneration Statement be received.

Overview:

The Municipal Act states that the Treasurer of a municipality shall provide to the Council of the municipality an itemized statement on remuneration and expenses paid in the previous year. Despite the Municipal Freedom of Information and Protection of Privacy Act this statement is public record. The following is the statement for 2023:

	Ray Johnston	Harold Nelson	Adam Vervoort	Heather Watson	Tom Watt
Council Honorarium	\$22,868	\$25,541	\$22,868	\$33,688	\$22,868
Council Mileage	\$207				\$61
Training Session	\$900	\$525		\$525	\$975
Health Benefits			\$1,257	\$3,024	
Total Remuneration	\$23,975	\$26,066	\$24,125	\$37,237	\$23,905

	Robert Lamerre	Rod Manley	Jim Patterson	Mark Porter
Committee of Adjustment	\$95	\$380	\$475	\$380
Mileage	\$0	\$49	\$145	\$0
Total Remuneration	\$95	\$429	\$620	\$380

	Ken Jackman	Caroline Goodenough
Police Service Board	\$518	\$370
Mileage	\$190	\$148
Total Remuneration	\$708	\$518

Conclusion:

This report satisfies the requirement of the Municipal Act.

Financial Impact:

N/A

Strategic Plan Applicability:

To ensure and enable an effective and efficient municipal administration.

Report Approval Details

Document Title:	Council Remuneration Statement - 2023.docx
Attachments:	
Final Approval Date:	Apr 10, 2024

This report and all of its attachments were approved and signed as outlined below:

Martina Chait-Hartwig

(APPROVED)

Minutes of the Township of Douro-Dummer Public Library Board Meeting

March 12, 2024, 4:00 PM

Present: **Thomas Watt**
 Darla Milne
 Georgia Gale-Kidd
 Diane Bonner
 Gary Rose

Staff Present **Maggie Pearson**
 Jiji Joshy

1. Call to Order

With a quorum of the Board being present, the Secretary called the meeting to order at 4:02 PM.

2. Disclosure of any Pecuniary Interest

The Chair reminded members of the Board of their obligation to declare any pecuniary interest they might have. None were declared.

3. Approval of February 13, 2024 Minutes

Resolution Number 11-2024

Moved by: Georgia Gale-Kidd

Seconded by: Thomas Watt

That the February 13 2024 draft minutes be approved.

Carried

4. Business Arising from Minutes:

4.1 Committee Reports:

4.1.1 Friends of the Library

Verbal report from Georgia-Gale Kidd: March Break programming planned including Family Games Day in the library. Speaker Series for April will be Susan Chow and topic is: "Fascinating Fungi". May event will include plant and book sale on mothers' day weekend.

4.1.2 Art Gallery

Verbal report from Maggie Pearson: potential show Fall 2024 with local artist Deb Brown (oil paintings). Board discussion re: potential for new board member to head art gallery committee and possibility of hosting art gallery launch events for future shows.

4.1.3 Policy Committee

4.1.3.1 Review Schedule

Verbal Report from Maggie Pearson: Highlight of upcoming mandatory annual reviews for policy committee and Board.

Resolution Number 12-2024

Moved by: Darla Milne

Seconded by: Gary Rose

That these committee reports be accepted form information.

Carried

5. Financial Report Dated February 29, 2024

Verbal Report from Jijo Joshy giving general overview of report, hydro usage/rate increase.

Resolution Number 13-2024

Moved by: Thomas Watt

Seconded by: Darla Milne

That the financial report be accepted form information.

Carried

6. Librarian Reports:

6.1 Stats Report February 2024

6.2 Operations/ Projects Update

Board Discussion re: mandate for program room art showings, Board member availability for Library Assistant recruitment process.

Resolution Number 14-2024

Moved by: Diane Bonner

Seconded by: Gary Rose

That the Librarian Reports be accepted form information.

Carried

Resolution Number 15 -2024

Moved by: Thomas Watt

Seconded by: Darla Milne

That the meeting be adjourned at 4:45PM

Carried

11. Next Meeting:

Tuesday April 9, 2024 4:00PM at Douro-Dummer Public Library

Chair, Georgia Gale Kidd

Secretary, Maggie Pearson

Minutes of the Committee of the Whole of the Township of Douro-Dummer

April 9, 2024, 10:00 AM
Council Chambers in the Municipal Building

- Present:** **Chair – Councillor Tom Watt**
Mayor Heather Watson
Deputy Mayor Harold Nelson
Councillor Adam Vervoort
Councillor Ray Johnston
- Staff Present:** **Acting CAO/Clerk - Martina Chait-Hartwig**
CBO - Don Helleman
Interim Treasurer - Paul Creamer
Manager of Recreation Facilities - Mike Mood
Planner - Christina Coulter
Fire Chief - Chuck Pedersen
Legislative Services Assistant – Patti O’Grady
- Absent:** **Manager of Public Works – Jake Condon**

1. Call to Order
With a quorum of the Committee being present, the Chair called the meeting to order at 10:00 a.m.

2. Land Acknowledgement
The Chair recited the Land Acknowledgement.

3. Disclosure of Pecuniary Interest:
The Chair reminded members of Council of their obligation to declare any pecuniary interest they might have. None were declared.

4. Adoption of Agenda: April 9, 2024

Resolution Number 017-2024

Moved By: Mayor Watson

Seconded By: Deputy Mayor Nelson

That the agenda for the Committee of the Whole Meeting, dated April 9, 2024, be adopted, as circulated.

Carried

5. Delegations, Petitions or Presentations:

5.1 Laura Thompson and Rhonda Keenan - Peterborough & the Kawarthas Economic Development (PKED) - 2023 Business Count Survey Report

Resolution Number 018-2024

Moved By: Councillor Johnston

Seconded By: Deputy Mayor Nelson

That the presentation from Peterborough & the Kawarthas Economic Development regarding the 2023 Business Count Survey be received with thanks. Carried

6. Reports - Managers' Updates

6.1 Recreation Facilities Report - February to March 2024 Update, Recreation Facilities-2024-02

Resolution Number 019-2024

Moved By: Mayor Watson

Seconded By: Councillor Vervoort

That the Recreation Facilities Report - February to March 2024 Update, Recreation Facilities-2024-02 be received with thanks. Carried

6.2 Public Works Department Report - February to March 2024 Update, Public Works-2024-06

Resolution Number 020-2024

Moved By: Deputy Mayor Nelson

Seconded By: Councillor Johnston

That the Public Works Department Report- February to March 2024 Update, Public Works-2024-06 be received with thanks. Carried

6.3 Planning Department Report - February to March 2024 Update, Planning-2024-10

Resolution Number 021-2024

Moved By: Councillor Johnston

Seconded By: Councillor Vervoort

That the Planning Department Report - February to March 2024 Update, Public Works-2024-06 be received with thanks. Carried

Councillor Johnston stepped out of the meeting from 10:45 a.m. to 10:47 a.m.

6.4 Building Department Report - Monthly Update, Building Department-2024-04

Resolution Number 022-2024

Moved By: Councillor Johnston

Seconded By: Deputy Mayor Nelson

That the Building Department Report - Monthly Update, Building Department-2024-04 be received with thanks; and that a training session be scheduled with Council on the permitting and the Cloud Permit process.

Carried

6.5 Fire Department Report - February to March 2024 Update, Fire Chief-2024-03

Resolution Number 023-2024

Moved By: Mayor Watson

Seconded By: Deputy Mayor Nelson

That the Fire Department Report - February to March 2024 Update, Fire Chief-2024-03 be received with thanks.

Carried

6.6 Finance Department Report - Monthly Update, Treasurer-2024-05

Resolution Number 024-2024

Moved By: Councillor Vervoort

Seconded By: Councillor Johnston

That the Finance Department Report - Monthly Update, Treasurer-2024-05 be received with thanks.

Carried

6.7 Clerk's Department Report - February to April 2024 Update, Clerk's Office-2024-06

Resolution Number 025-2024

Moved By: Councillor Vervoort

Seconded By: Deputy Mayor Nelson

That the Clerk's Department Report - February to April 2024 Update, Clerk's Office-2024-06 be received with thanks.

Carried

6.8 CAO Report - February to March 2024 Update, C.A.O.-2024-12

Resolution Number 026-2024

Moved By: Mayor Watson

Seconded By: Councillor Johnston

That the CAO Report - February to March 2024 Update, C.A.O.-2024-12 be received with thanks. Carried

6.9 Draft Strategic Plan for the Township of Douro-Dummer, C.A.O.-2024-15

Resolution Number 027-2024

Moved By: Councillor Vervoort

Seconded by: Deputy Mayor Nelson

That the Strategic Plan for the Township of Douro-Dummer include the Core Vision Statement and not the proposed Mission and Vision Statements. Carried

Resolution Number 028-2024

Moved By: Deputy Mayor Nelson

Seconded By: Councillor Johnston

That the report, dated April 9, 2024, regarding the Draft Township of Douro-Dummer Strategic Plan be received, that the Committee recommends to Council that the Draft Township Strategic Plan be approved with an updated Land Acknowledgement. Carried

7. New Business to be requested for next Meeting: None

8. Closed Session**Resolution Number 029-2024**

Moved By: Councillor Vervoort

Seconded By: Mayor Watson

That Council to enter into Closed Session for the Reasons Under Section 239 (2) of the Municipal Act, 2001, S.O. 2001, c. 25, as follows:

(c) a proposed or pending acquisition or disposition of land by the municipality or local board;

(k) a position, plan, procedure, criteria or instruction to be applied to any negotiations carried on or to be carried on by or on behalf of the municipality or local board. 2001, c. 25, s. 239 (2); 2017, c. 10, Sched. 1, s. 26; (12:30 p.m.)

Carried

8.1 Report to Committee - Acting CAO 2024-013, C.A.O.-2024-13

8.2 Report to Committee - Acting CAO 2024-014, C.A.O.-2024-14

9. Rise from Closed Session with or without a Report**Resolution Number 030-2024**

Moved By: Councillor Johnston

Seconded By: Councillor Vervoort

That the Committee rise from Closed Session at 1:18 p.m. without a report.

Carried

10. Matters Arising from Closed Session: None11. Adjournment**Resolution Number 031-2024**

Moved By: Mayor Watson

Seconded By: Deputy Mayor Nelson

That this meeting adjourn at 1:18 p.m.

Carried

Mayor, Heather Watson

Acting CAO/Clerk, Martina Chait-Hartwig



Wawanesa Insurance Announces Wildfire Prevention Grant Recipients

April 09, 2024

Winnipeg, MB – The Wawanesa Mutual Insurance Company (Wawanesa) today announced the 12 recipients of their second annual Community Wildfire Prevention Grants, which were developed in partnership with FireSmart™ Canada and the Institute for Catastrophic Loss Reduction (ICLR). Wawanesa will award \$150,000 to communities this year.

“Supporting community wildfire prevention helps build a safer, more sustainable future for us all,” said Anna McCrindell, Wawanesa’s SVP & Chief Operating Officer, East. “Last summer’s wildfire season was the worst on record for Canada, and the need to prepare communities is more apparent than ever. Wawanesa is honoured to support the efforts of these communities, and will continue to help Canadians reduce their wildfire risk.”

This year’s grant recipients are from communities across Canada, including Indigenous communities, rural municipalities, towns, residents’ associations, and local fire departments. The grants will go toward a range of wildfire prevention activities, such as creating wildfire buffer zones around homes, home assessments with sprinkler kit incentives, public education, community wildfire protection plans, and more. For a complete list of recipient communities and their projects, please visit the Wildfire Prevention website [here](#).

“Initiatives like the Wawanesa Community Wildfire Grants are important mechanisms to support the public education of FireSmart™ programs,” said Chuck Pedersen, Fire Chief, Township of Douro-Dummer, Ontario. “We are very grateful that our project was selected, and we’re confident that it will create discussion and action in our community to reduce wildfires and mitigate potential property loss from wildfire.”

“Wawanesa’s Community Wildfire Prevention Grants play a key role in fostering community resilience and empowering residents to take actions that mitigate their wildland fire risks,” said Lisa Walker, Director of Resiliency and Partnerships with the Canadian Interagency Forest Fire Center. “The FireSmart Canada program is dedicated to supporting this type of collaborative effort to build strong and resilient communities from coast to coast to coast.”

The Institute for Catastrophic Loss Reduction is also pleased to have again been asked to work with Wawanesa on this important initiative.

“2023 saw communities across the country impacted by a record number of large fires, wildfire smoke, and close to \$1 billion in wildfire insurance claims were recorded. Wawanesa’s Community Wildfire Prevention Grants Program reinforces the key message that more wildfires don’t have to translate into more loss of communities. We applaud Wawanesa for their leadership in this area,” said Paul Kovacs, Executive Director, ICLR

About The Wawanesa Mutual Insurance Company

The Wawanesa Mutual Insurance Company, founded in 1896, is one of Canada’s largest mutual insurers, with over \$3.5 billion in annual revenue and assets of \$10 billion. Wawanesa Mutual, with its National Headquarters in Winnipeg, is the parent company of Wawanesa Life, which provides life insurance products and services throughout Canada, and Western Financial Group, which distributes personal and business insurance across Canada. Wawanesa proudly serves more than 1.7 million members in Canada. The company actively gives back to organizations that strengthen communities, donating more than \$3.5 million annually to charitable organizations, including over \$2 million annually in support of people on the front lines of climate change. Learn more at wawanesa.com.

About The Institute for Catastrophic Loss Reduction (ICLR)

Canada's leading disaster research institute, the Institute for Catastrophic Loss Reduction (ICLR), was established by the insurance industry in 1997 as an independent, not-for-profit research and outreach institute to champion disaster resilience in Canada. ICLR is an international centre of excellence affiliated with Western University. The Institute develops and champions evidence-based disaster safety solutions that can be implemented by homeowners, businesses and governments to enhance their disaster resilience. Visit www.iclr.org for more information.

About FireSmart™ Canada

FireSmart™ Canada was founded over 30 years ago to address common concerns about wildfire in the wildland urban interface. Since then, FireSmart Canada has led the development of resources and programs designed to empower the public and increase neighbourhood resilience to wildfire across Canada. FireSmart Canada operates under a mandate from the Canadian Interagency Forest Fire Centre, and is supported by federal, provincial and territorial wildland fire management agencies and partners with municipal governments and the private sector. Firesmart, Intelli-feu and other associated marks are trademarks of the Canadian Interagency Forest Fire Centre. For more information, visit firesmartcanada.ca.

For more information:

Brad Hartle
Manager, Corporate Communications & Media Relations
The Wawanesa Mutual Insurance Company
Phone: 1-844-946-6282
media@wawanesa.com



Wawanesa's Community Wildfire Prevention Grants

As part of our [Wawanesa Climate Champions](#) commitment to help communities become more climate resilient, we partnered with FireSmart™ Canada and the Institute for Catastrophic Loss Reduction (ICLR) to offer our Community Wildfire Prevention Grants.

These grants are part of our broader commitment to building climate-resilient communities through the Wawanesa Climate Champions program, which invests \$2 million annually into supporting people on the front lines of climate change.

Meet the 12 communities across Canada receiving grants in 2024 totalling \$150,000:

Alongside Property Owners Association

Nova Scotia

[+ Learn more](#)

Bimose Tribal Council

Ontario

[+ Learn more](#)

City of Whitehorse

Yukon

[+ Learn more](#)

City of Yellowknife

Northwest Territories

[+ Learn more](#)

Douro-Dummer Township Fire Department

Ontario

[+ Learn more](#)

Edson Fire Department

Alberta

[+ Learn more](#)

[Redacted]

RM of Victoria Beach

Manitoba

[+ Learn more](#)

Parkland County Fire Services

Alberta

[+ Learn more](#)

Setting Lake Cottage Owners Association

Manitoba

[+ Learn more](#)

Saulteau First Nations

British Columbia

[+ Learn more](#)

Westwood Hills Residents Association

Nova Scotia

[+ Learn more](#)

Watson Lake Fire Department

Yukon

[+ Learn more](#)



MEDIA RELEASE



TOWNSHIP OF

**North
Kawartha**



FOR IMMEDIATE RELEASE

Monday, April 8, 2024, Peterborough

North Kawartha and Trent Lakes Well Water Sampling Program Resumes April 9

Spring Melt Brings Higher Risk for Bacterial Contamination in Well Water

Well water sampling drop off program resumes Tuesday, April 9 in the Township of North Kawartha and the Municipality of Trent Lakes. The program offers free sample collection kit pick-up and sample drop-off through these municipal offices.

Beginning Tuesday, April 9, 2024, water samples can be dropped off at,

- **North Kawartha Municipal Office** located at 280 Burleigh Street, Apsley, ON, Tuesdays and Thursdays between 9:00 a.m. and 10:00 a.m. and,
- **Trent Lakes Municipal Office** located at 760 County Road 36, Trent Lakes, ON, Tuesday and Thursdays between 8:30 a.m. and 10:00 a.m.

Samples are then couriered to the Public Health Ontario Lab in Peterborough for testing. Empty sample bottles can be picked up any time during regular business hours.

Well water testing is recommended twice a year, Spring and Fall. The samples are tested for two types of bacterial contamination: total coliforms and *E. coli*. Anyone can become ill if they consume contaminated water, but young people, older adults, and immuno-compromised individuals are at higher risk.

Samples must be dropped off to the municipal offices within 24 hours of collection to ensure they reach the lab and are processed in a timely manner. Residents are encouraged to carefully read the sampling and collection instructions included with each kit. Filled sample bottles should be delivered to the front desk at the municipal office. Staff will then place it in a fridge until collected by the courier.

Water samples can also be dropped off at the following locations:

- **Havelock-Belmont-Methuen Township Office**, 1 Ottawa Street, Havelock, from Monday through Thursday between 8:30 a.m. and 4:30 p.m.
- **Peterborough Public Health**, 185 King Street, Peterborough, between 8:30 a.m. and 4:30 p.m. Monday through Thursday, and from 8:30 a.m. to 12 noon on Fridays.
- **Public Health Ontario Laboratory**, 99 Hospital Drive weekdays between the hours of 8:30 a.m. and 4:30 p.m.

Residents will receive water quality results by mail or can call Public Health Ontario's Interactive Voice Response at 1-877-723-3426. If you have questions about your test results, please call the PPH Safe Water Program at 705-743-1000, ext. 232, for more information.

To learn more about well water safety, visit www.peterboroughpublichealth.ca and search for "well water safety".

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For further information, please contact:

Media Relations

media@peterboroughpublichealth.ca

Keely-Anne Johnson

Secretary/Receptionist

Township of North Kawartha

705-656-4445 ext. 232

K.Johnson@northkawartha.ca

Jessica Sears

Finance Admin. Assistant

705-738-3800 ext. 221

info@trentlakes.ca

Terrace Bay
Regular Council - 04 Mar 2024

Item b)

Date: March 4, 2024

CR60-2024

Moved by *Gary Adduono*
Seconded by *[Signature]*

WHEREAS access to natural gas is important to residents and businesses in our community for affordability and reliability

AND WHEREAS the Ontario Energy Board's (OEB) decision on Phase 1 of the Enbridge Gas 2024 rebasing application, issued on 21 December 2023, has concerning implications including putting into question the future access to natural gas that support of economic development, affordable housing growth, and energy reliability in communities such as the Township of Terrace Bay;

AND WHEREAS Ontario is growing and access to affordable energy to support this growth for homes and businesses is crucial, as is a measured approach to energy transition as not having access to natural gas will stifle economic growth and put housing and energy affordability at risk;

NOW THEREFORE BE IT RESOLVED: THAT the Township of Terrace Bay supports a measured approach to Ontario's energy transition;

AND FURTHER, that the Municipality of ~~Tweed~~ ^{Terrace Bay} recognizes that there may not be enough electricity available to replace the energy provided by natural gas and meet the increased demand from electrification;

AND FURTHER, that natural gas must continue to play an integral role in meeting the energy needs of Ontario;

AND FURTHER, that the Municipality of ~~Tweed~~ ^{Terrace Bay} supports the work the Government of Ontario has done to date, including the Natural Gas Expansion Program and Electrification and Energy Transition Panel's call for a clear policy on the role of natural gas to secure access to affordable energy;

AND FURTHER, that this resolution be circulated to the President of AMO, Colin Best, Hon. Doug Ford, Premier of Ontario, Hon. Todd Smith, the Minister of Energy, Lise Vaugeois, Member of Provincial Parliament for Thunder Bay - Superior North, all regional municipalities as significant actors to ensuring the need for natural gas in Ontario as part of a measured approach towards energy transition, and submitted to municipalaffairs@enbridge.com

Carried Defeated Recorded Vote

Recorded Vote:

	Yes	No
Mayor Paul Malashewski		
Councillor Gary Adduono		
Councillor Chris Dube		

Councillor Bert Johnson		
Councillor Rick St. Louis		



Mayor



TOWN OF SHELburne

COUNCIL RESOLUTION

No. 08

Date: 3/25/24

Moved: Councillor Benotto

Seconded by: Councillor Wegener

BE IT RESOLVED THAT Council of the Town of Shelburne encourages all levels of government to eradicate all forms of racism especially Islamophobia and antisemitism, and that this motion be sent to our MP and MPP and all municipalities.

CARRIED, W. Mills

Requested Vote to be Recorded Yes No

	Yea	Nay
Mayor Mills	<input type="checkbox"/>	<input type="checkbox"/>
Deputy Mayor Hall	<input type="checkbox"/>	<input type="checkbox"/>
Councillor Benotto	<input type="checkbox"/>	<input type="checkbox"/>
Councillor Fegan	<input type="checkbox"/>	<input type="checkbox"/>
Councillor Guchardi	<input type="checkbox"/>	<input type="checkbox"/>
Councillor Sample	<input type="checkbox"/>	<input type="checkbox"/>
Councillor Wegener	<input type="checkbox"/>	<input type="checkbox"/>

The Corporation of the Township of Douro-Dummer

By-law Number 2024-20

Being a By-law to amend By-law Number 10-1996, as amended, otherwise known as "The Township of Douro-Dummer Comprehensive Zoning By-law"

Whereas By-law Number 10-1996, as amended, regulates the use of land and the use and erection of buildings and structures within the Township of Douro-Dummer;

And Whereas Section 34 of The Planning Act, RSO 1990, as amended, permits the Council to pass an amending Zoning By-law;

And Whereas the Council of the Township of Douro-Dummer deems it advisable to further amend By-law No. 10-1996 as amended;

Now Therefore the Council of the Township of Douro-Dummer hereby enacts as follows:

1. Schedule A1 to By-law No. 10-1996, as amended, is hereby further amended by changing the zone category on a portion of lands known municipally as 129 Douro Ninth Line and more particularly described as Part Lots 1 and 2, Concession 9 (Douro Ward) from the Rural Zone (RU) to the Special District 258 Zone (S.D. 258) as shown on Schedule "1" attached hereto and forming part of this By-law.
2. Section 21 Special Districts is amended by the addition of subsection "21.258 Special District 258 Zone (S.D. 258)" immediately following subsection 21.257 Special District 257 Zone (S.D. 257)" which shall read as follows:

21.258 Special District 258 Zone (S.D. 258) – Roll No. 1522-010-004-04700

No person shall within any Special District 258 Zone (S.D. 258) use any land, or erect, alter or use any building or structure except in accordance with the following provisions:

21.258.1 Permitted Uses

21.258.1.1 All uses permitted in Section 9.1 of the Rural Zone (RU) of By-law 10-1996, as amended.

21.258.2 Regulations for Permitted Uses

All regulations of Section 9.2 of the Rural Zone (RU) of By-law 10-1996, as amended, shall apply with the following exceptions:

- a) Minimum Exterior Side Yard for the farm building identified as "proposed building footprint" on the Site Plan prepared by Cambium dated February 2023 and attached as Schedule "2" hereto and forming part of this By-law

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- b) All provisions of Section 3, General Zone Provisions of By-law 10-1996, as amended, as they apply to the use of any land, buildings or structures permitted in the Special District 258 Zone (S.D. 258) shall apply and be complied with.

3. All other relevant provisions of By-law 10-1996, as amended, shall apply.

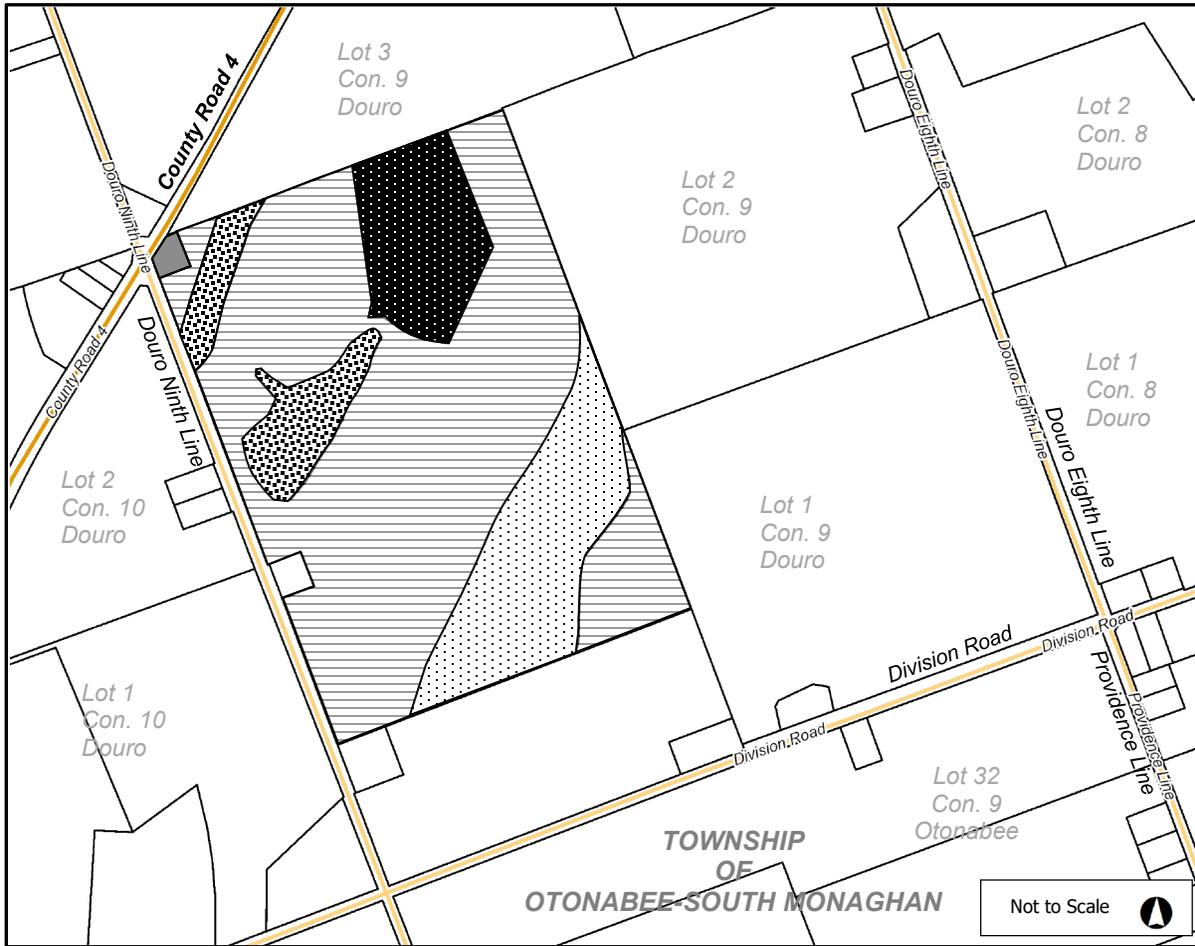
If no notice of objection is filed with the Clerk within the time provided, this By-law shall become effective on the date of passing hereof, subject to the provisions of The Planning Act, RSO 1990, as amended.

Passed in Open Council this 16th day of April, 2024.

Mayor, Heather Watson

Clerk, Martina Chait-Hartwig

Schedule "1" to By-law 2024-20

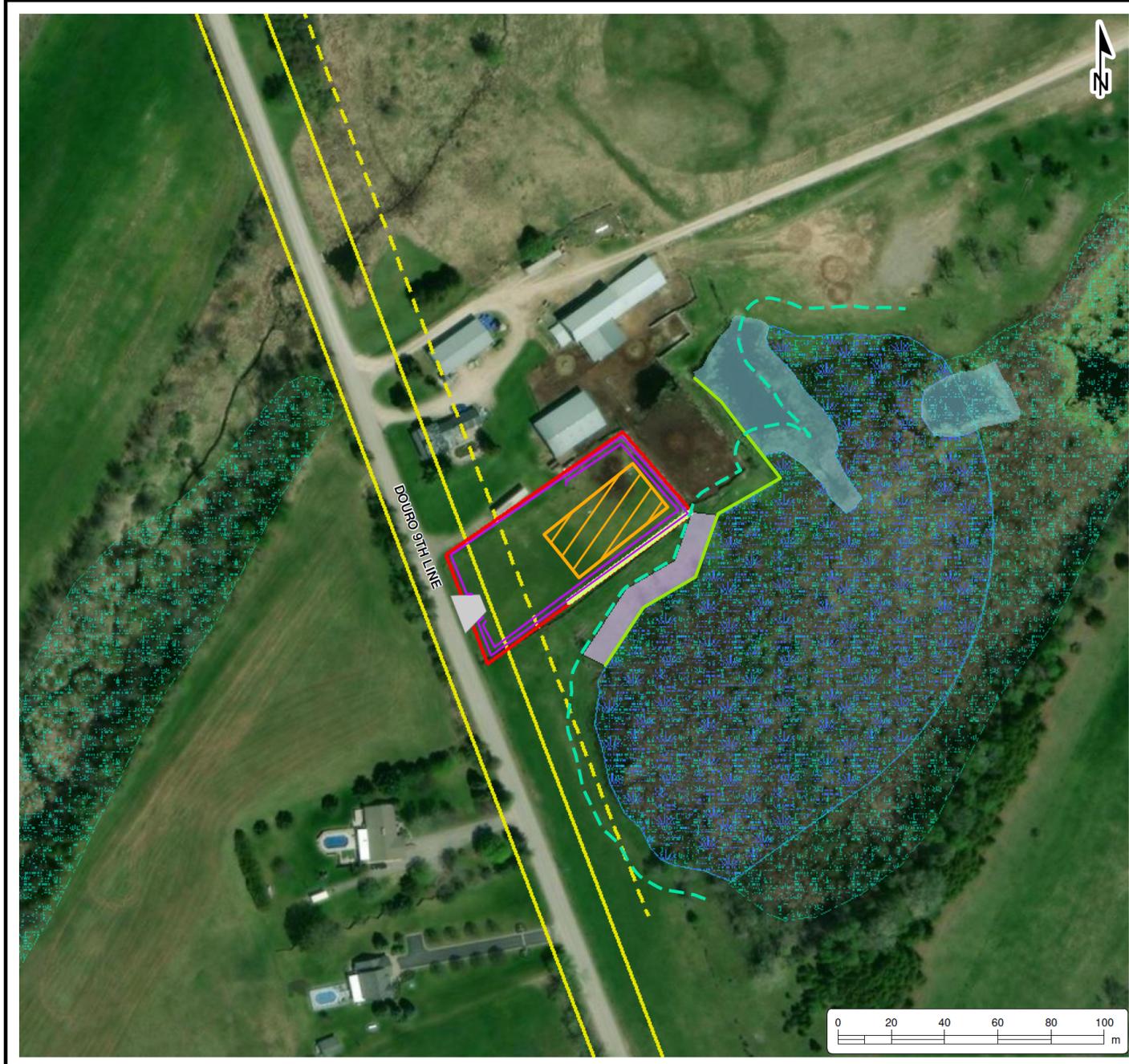


-  **Rezone from the 'Rural Zone (RU)' to the 'Special District 258 Zone (S.D. 258)'**
-  **Area to remain zoned 'Extractive Industrial Zone (M2)'**
-  **Area to remain zoned 'Environmental Conservation Provincially Significant Wetland Zone (EC(P))'**
-  **Area to remain zoned 'Environmental Conservation Zone (EC)'**
-  **Area to remain zoned 'Special District 106 Zone (S.D. 106)'**

This is Schedule '1' to By-law No. 2024-20 passed this 16th day of April, 2024.

 Mayor, Heather Watson

 Clerk, Martina Chait-Hartwig



**ENVIRONMENTAL
MANAGEMENT PLAN**
STARFIRA FEEDS
153 Douro Ninth Line
Douro-Dummer, Ontario

- LEGEND**
- 14m Right of Way Setback
 - Proposed 10m Wetland Setback
 - Sediment Fence
 - Verified Wetland Boundary
 - Pond
 - Unevaluated Wetland
 - Wetland
 - MTO Right of Way
 - Mud Mat (50mm - 100 mm aggregate)
 - Restoration Area
 - Cedar Hedgerow
 - Proposed Building Footprint
 - Site (0.33 ha) (approximate)

Notes:
- Base mapping features are © Queen's Printer of Ontario, 2019 (this does not constitute an endorsement by the Ministry of Natural Resources and Forestry or the Ontario Government).
- Distances on this plan are in metres and can be converted to feet by dividing by 0.3048.
- Cambium Inc. makes every effort to ensure this map is free from errors but cannot be held responsible for any damages due to error or omissions. This map should not be used for navigation or legal purposes. It is intended for general reference use only.

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SITE PLAN

Project No.: 12683-001		Date: February 2023	
Scale: 1:2,000		Projection: NAD 1983 UTM Zone 17N	
Created by: DJL	Checked by: MOL	Figure: 2	

C:\GIS\MDC\12683-001\Starfira Feeds - MPE - 153 Douro Ninth Line, Douro-Dummer\2023\02-07 FIG.2 - Site Plan.mxd

The Corporation of the Township of Douro-Dummer

By-law Number 2024-21

Being a By-law of The Corporation of the Township of Douro-Dummer to confirm the proceedings of the Special and Regular Council Meetings held on the 16th day of April, 2024 in the Township Council Chambers

The Municipal Council of The Corporation of the Township of Douro-Dummer Enacts as follows:

1. **That** the action of the Council at its special and regular meetings held on April 16th, 2024, in respect to each motion, resolution, and other action passed and taken by the Council at its said meeting is, except where prior approval of the Local Planning Appeal Tribunal is required, hereby approved, ratified, and confirmed.

2. **That** the Mayor and the proper officers of the Township are hereby authorized to do all things necessary to obtain approvals where required, and to execute all documents as may be necessary in that behalf and the Clerk is hereby authorized and directed to affix the Corporate Seal to all such documents.

Passed in Open Council this 16th day of April, 2024.

Mayor, Heather Watson

Acting CAO/Clerk, Martina Chait-Hartwig