



## Township of Douro-Dummer Agenda for a Regular Meeting of Council

Tuesday, November 5, 2024, 5:00 p.m.  
Council Chambers in the Municipal Building

**Please note**, that Council may, by general consensus, change the order of the agenda, without prior notification, in order to expedite the efficiency of conducting business.

### Hybrid Meetings

Regular and Special meetings of Council are being held in person and electronically. Regular Meetings are recorded and live-streamed on the Township YouTube channel. Special Meetings will be recorded and live-streamed where feasible.

To watch the meeting live or access a recording please visit the Township's YouTube Channel  
[https://www.youtube.com/channel/UCPpzm-uRBZRDjB89o2X6R\\_A](https://www.youtube.com/channel/UCPpzm-uRBZRDjB89o2X6R_A)

Please contact the Clerk if you require an alternative method to virtually attend the meeting.  
mchaithartwig@dourodummer.ca or 705-652-8392 x210.

---

	Pages
1. Call to Order	
2. Land Acknowledgement	
3. Moment of Silent Reflection	
4. Disclosure of Pecuniary Interest:	
5. Adoption of Agenda: November 5, 2024	
6. Adoption of Minutes and Business Arising from the Minutes	
6.1 Regular Council Meeting Minutes - October 15, 2024	1
7. Consent Agenda (Reports voted upon by ONE motion) - No Debate	
7.1 Municipal Appraisal Form (MAF) for Severance Files B-23-24, B-88-24 and B-89-24	10
7.2 Kawartha - Haliburton Children's Aid Society - News Release regarding resignation of Board of Directors	23

7.3	<b>Eastern Ontario Wardens' Caucus (EOWC) - News Release regarding Fall Economic Statement</b>	24
8.	<b>Delegations, Petitions, Presentations or Public Meetings:</b>	
8.1	<b>Public Meeting - Zoning By-law Amendment File R-12-24 (Earnshaw) Public Meeting Report, Planning-2024-26</b>	27
	Property Address - Dummer Ward 1450 Mill Line Road, Douro-Dummer Roll No. 1522-020-002-10501	
8.2	<b>Public Meeting - Zoning By-law Amendment File R-13-24 (Sandeman) Public Meeting Report, Planning-2024-27</b>	79
	Property Address - Douro Ward 800 Canal Road, Douro-Dummer Roll No. 1522-010-005-24400	
8.3	<b>Presentation - Lois Wallace and Chair Roz Moore from the Environment Council for Clear, Ston(e)y and White Lakes</b>	117
	Presentation for Stronger Shoreline Protections: Promoting Natural Shorelines for Lake Health and Economic Sustainability	
9.	<b>Public Comment Period - No Debate or Decision</b>	
	A list of registered speakers will be released no later than Monday at 4:30 p.m. The deadline to register is 12-noon on Monday prior to the meeting.	
10.	<b>Staff Reports</b>	
10.1	<b>Report and Capital Project Status</b>	132
10.2	<b>2025 Budget Update - Schedule and Policing Costs, Treasurer-2024-23</b>	137
11.	<b>Committee Minutes and Other Reports:</b>	
11.1	<b>Public Library Board Meeting Minutes - September 10, 2024</b>	154
11.2	<b>Peterborough OPP Detachment Board Meeting Minutes - September 30, 2024</b>	158
12.	<b>Correspondence – Action Items:</b>	
12.1	<b>Municipality of Waterloo - Resolution Regarding Solve the Humanitarian Crisis</b>	162



12.2	County of Northumberland - Resolution Regarding 'Public Sector Salary Disclosure'	166
12.3	Ontario Good Roads Association - Resolution Regarding Establishment of an Ontario Rural Road Safety Program	170
12.4	Ministry of Energy and Electrification - Letter Regarding Ontario's Affordable Energy Future	176
13.	<b>By-laws:</b>	
13.1	By-law 2024-64 - To amend By-law Number 10-1996, as amended, otherwise known as "The Township of Douro-Dummer Comprehensive Zoning By-law" Parent Roll No. 1522-020-002-10501 (ZBA File R-12-14)	178
13.2	By-law 2024-65 - To amend By-law Number 10-1996, as amended, otherwise known as "The Township of Douro-Dummer Comprehensive Zoning By-law" Parent Roll No. 1522-010-005-24400 (ZBA File R-13-24)	180
14.	Reports derived from previous Notice of Motions	
15.	Notices of Motion - No Debate	
16.	Announcements:	
17.	Closed Session: None	
18.	Confirming By-law - 2024-66	183
19.	<b>Next Meeting</b>	
	Coffee and Conversation with Council – November 6, 2024	
	Regular Council Meeting – November 19, 2024	
20.	<b>Adjournment</b>	

## Minutes of the Regular Meeting of Council of the Township of Douro-Dummer

**October 15, 2024, 5:00 PM  
Council Chambers in the Municipal Building**

**Member Present:** Mayor Heather Watson  
Deputy Mayor Harold Nelson  
Councillor Thomas Watt  
Councillor Adam Vervoort  
Councillor Ray Johnston

**Staff Present:** Clerk - Martina Chait-Hartwig  
Treasurer - Paul Creamer  
CBO - Don Helleman  
Fire Chief - Chuck Pedersen  
Planner - Christina Coulter

**Staff Absent:** Interim C.A.O. – Mike Rutter

1. Call to Order

With a quorum of Council being present, the Mayor called the meeting to order at 5:01 p.m.

2. Land Acknowledgement

The Mayor recited the Land Acknowledgement.

3. Moment of Silent Reflection

Council observed a moment of silent reflection.

4. Disclosure of Pecuniary Interest:

The Mayor reminded members of Council of their obligation to declare any pecuniary interest they might have. None were declared.

5. Adoption of Agenda: October 15, 2024

5.1 Approval of Amended Agenda - October 15, 2024

**Resolution Number 363-2024**

Moved by: Deputy Mayor Nelson

Seconded by: Councillor Johnston

That the agenda for the Regular Council Meeting, dated October 15, 2024, be adopted, as amended.

Carried

6. Adoption of Minutes and Business Arising from the Minutes

6.1 Regular Council Meeting Minutes October 1, 2024

6.2 Special Council Meeting Minutes October 1, 2024

**Resolution Number 364-2024**

Moved by: Councillor Watt

Seconded by: Deputy Mayor Nelson

That the Minutes from the Regular Council meeting held on October 1, 2024, and Special Council meeting held on October 1, 2024, both be received and approved.

Carried

7. Consent Agenda (Reports voted upon by ONE motion) - No Debate

7.1 Technical Advisory Committee (TAC) OP Modification Meeting Minutes - No.10 - September 12, 2024

7.2 Municipal Appraisal Form (MAF) for Severance Files B-19-24 and B-20-24

7.3 Eastern Ontario Wardens' Caucus (EOWC) - Municipal Infrastructure Policy Paper

**Resolution Number 365-2024**

Moved by: Deputy Mayor Nelson

Seconded by: Councillor Johnston

The Consent Agenda items for October 15, 2024, be received.

Carried

8. Delegations, Petitions, Presentations or Public Meetings:

8.1 Public Meeting - Zoning By-law Amendment File R-10-24 (Sewage Systems) Public Meeting Report, Planning-2024-23

**Resolution Number 366-2024**

Moved by: Councillor Johnston

Seconded by: Councillor Vervoort

Public Meeting - Zoning By-law Amendment File R-10-24 (Sewage Systems) Public Meeting Report, Planning-2024-23. (5:04 p.m.) Carried

In attendance: None

In-person Comments: None

Comments received: No comments have been received from members of the public.

Comments were received from the following agencies:

- Enbridge Gas Inc.: No objections to the application.
- Bell Canada: Bell Canada does NOT generally comment on zoning by-law amendments. If required, a follow-up email will be provided by Bell Canada to outline any input to be considered on the infrastructure / policy initiative circulation received at this time.
- Kawartha Pine Ridge District School Board: did not identify any concerns or issues related to their mandate.
- Otonabee Region Conservation Authority (ORCA): reviewed the proposed changes as it relates to their mandate and Ontario Regulation 41/24 and had no comments.
- Ministry of Transportation Ontario (MTO): The Ministry has no concerns with the proposed amendment to the Zoning By-Law. The Ministry requested a copy of the decision and a statement in the by-law indicating that properties located adjacent to a highway will be subject to the requirements of the Ministry and that the requirements of the Ministry supersede those of the municipality. The Ministry noted that all land development on lands that abut a provincial highway or fall within MTO zone of permit control will require MTO approvals and permits prior to the issuance of any

municipal building permits or approvals as per section 8. (2) (a) of the Building Code Act.

- Crowe Valley Conservation Authority provided written comments, and they have reviewed the proposed amendment as it relates to their mandate and Ontario Regulation 41/24 and had no comments. CVCA noted that a permit for any development (construction/grading/excavating) activities, including the installation of new septic systems and changes to existing septic systems, would be required within the CVCA's regulated area and will apply the applicable Board Approved Policies. Carried

### **Resolution Number 367-2024**

Moved by: Councillor Johnston

Seconded by: Councillor Watt

Close Public Meeting - Zoning By-law Amendment File R-10-24 (Sewage Systems) Public Meeting Report, Planning-2024-23. (5:13 p.m.). Carried

### **Resolution Number 368-2024**

Moved by: Deputy Mayor Nelson

Seconded by: Councillor Vervoort

That the report, dated October 15, 2024, regarding File R-10-24 (Sewage Systems) be received and;

That Council receives all comments related to File R-10-24; and

That the By-law to enact the Zoning By-law Amendment be passed at the appropriate time during the meeting. Carried

## 8.2 Presentation - Lorri Rork, Community Development Coordinator regarding Community Care Programing

### **Resolution Number 369-2024**

Moved by: Councillor Watt

Seconded by: Councillor Johnston

That the presentation from Lorri Rork and Catherine Pink, Community Development Coordinators, regarding Community Care Programming, be received with thanks, and that Council consider the request for funding as part of the 2025 budget. Carried

9. Public Comment Period - No Debate or Decision - None

10. Staff Reports:

10.1 Report and Capital Project Status

**Resolution Number 370-2024**

Moved by: Councillor Vervoort

Seconded by: Councillor Watt

That the Report and Capital Project Status document be received. Carried

10.2 Provincial Planning Statement (PPS, 2024, Planning-2024-24

**Resolution Number 371-2024**

Moved by: Councillor Vervoort

Seconded by: Councillor Johnston

That the Report, dated October 15, 2024, regarding the new Provincial Planning Statement (PPS, 2024) be received for information with thanks.

Carried

10.3 Purchasing Report - Fire Pumper Apparatus, Treasurer-2024-22

**Resolution Number 372-2024**

Moved by: Deputy Mayor Nelson

Seconded by: Councillor Johnston

That the report, dated October 15, regarding the Award of RFP FD-2024-01 – Supply and Delivery of Two Pumper Fire Apparatus be received; and

That Camions Carl Thibault Inc. be awarded the contract to supply two pumper fire apparatus vehicles;

That staff be directed to agree to a progressive payment schedule, where payment will be made for the chassis upon arrival at the vendor, which reduces the price by \$14,500 per truck resulting in a total price of \$637,048.00 per vehicle and a total of \$1,274,096; and

That reserves be allocated for the purchase.

Carried

- 10.4 Request to Stop-up, Close and Sell part of Sixth Line Road North Dummer - Little - Report No. 2, Clerk's Office-2024-23

**Resolution Number 373-2024**

Moved by: Councillor Johnston

Seconded by: Deputy Mayor Nelson

That the report, dated October 15, 2024, regarding the request from Mr. Little to Stop-up, Close and Sell part of Sixth Line Road North Road Allowance be received, that Council deem the land surplus and that staff bring back an agreement of sale and by-law to authorize same once a survey is complete and lastly that the cost formula used in the most recent stop-up and close request be applied to the request from Mr. Little.

Carried

11. Committee Minutes and Other Reports:

- 11.1 Committee of the Whole Meeting Minutes - October 8, 2024

**Resolution Number 374-2024**

Moved by: Deputy Mayor Nelson

Seconded by: Councillor Johnston

That the minutes from the Township of Douro-Dummer Committee of the Whole meeting held on October 8, 2024, be received and approved.

Carried

12. Correspondence – Action Items:

- 12.1 Ontario Big City Mayors (OBCM) - Request for support of the "Solve the Crisis" Campaign

**Resolution Number 375-2024**

Moved by: Deputy Mayor Nelson

Seconded by: Councillor Watt

That the letter from the Ontario Big City Mayors (OBCM), dated October 10, 2024, with a request for support of the "Solve the Crisis" campaign be received.

Carried

12.2 Town of Cobourg - Resolution regarding Involuntary Care for Individuals with Severe Mental Health and Addictions Issues

**Resolution Number 376-2024**

Moved by: Councillor Vervoort

Seconded by: Councillor Johnston

That the letter from the Town of Cobourg, dated October 4, 2024, regarding involuntary care for individuals with severe mental health and addictions issues be received and supported. Carried

12.3 Town of Bradford West Gwillimbury - Resolution regarding Ontario Deposit Return Program

**Resolution Number 378-2024**

Moved by: Councillor Watt

Seconded by: Deputy Mayor Nelson

That the letter from the Town of Bradford West Gwillimbury, dated September 20, 2024, regarding Ontario deposit return program be received and supported. Carried

13. By-laws:

13.1 By-law 2024-61 - To assume certain parcels into the Township Road System, Severance Files: B-100-23, Parent Roll: 1522-020-001-01900 and B-16-23, Parent Roll: 1522-010-003-04900 (10' Strips)

Moved by: Councillor Watt

Seconded by: Deputy Mayor Nelson

That the By-law 2024-61 to assume certain parcels into the Township Road System, Severance Files: B-100-23, Parent Roll: 1522-020-001-01900 and B-16-23, Parent Roll: 1522-010-003-04900 (10' Strips), be passed, in open Council this 15th day of October 2024 and that the Mayor and the Clerk be directed to sign same and affix the Corporate Seal thereto. Carried



- 13.2 By-law 2024-62 - To amend By-law Number 10-1996, as amended, otherwise known as "The Township of Douro-Dummer Comprehensive Zoning By-law" (Sewage Systems)

Moved by: Deputy Mayor Nelson

Seconded by: Councillor Johnston

That the By-law 2024-62 to amend By-law Number 10-1996, as amended, otherwise known as "The Township of Douro-Dummer Comprehensive Zoning By-law" (Sewage Systems), be passed, in open Council this 15th day of October 2024 and that the Mayor and the Clerk be directed to sign same and affix the Corporate Seal thereto. Carried

14. Reports derived from previous Notice of Motions: None

15. Notices of Motion - No Debate: None

16. Announcements:

Councillor Johnston – The Knight of Columbus will be hosting a breakfast at the St. Joseph Catholic Church Hall the first Sunday in November.

17. Closed Session:

**Resolution Number 379-2024**

Moved by: Councillor Watt

Seconded by: Deputy Mayor Nelson

Section 239 (2) of the Municipal Act, 2001, S.O. 2001, c. 25

(f) advice that is subject to solicitor-client privilege, including communications necessary for that purpose; (6:10 p.m.). Carried

18. Rise from Closed Session with or without a Report

Council raised from Closed Session with a report (6:42 p.m.).

19. Matters Arising from Closed Session**Resolution Number 380-2024**

Moved by: Councillor Vervoort

Seconded by: Councillor Watt

That the staff be directed to send a letter of acknowledgement to the Township of Asphodel-Norwood regarding a request for a contribution for the Norwood Medical Centre and further to that Council will be providing the contribution requested.

Carried

20. Confirming By-law 2024-63

Moved by: Councillor Watt

Seconded by: Councillor Johnston

That By-law Number 2024-62, being a By-law to confirm the proceedings of the Regular Meeting of Council, held on the 15 day of October, 2024, be passed in open Council and that the Mayor and the Clerk be directed to sign same and affix the Corporate Seal thereto.

Carried

21. Next Meeting

Regular Council Meeting – November 5, 2024

Coffee and Conversations with Council – November 6, 2024

22. Adjournment**Resolution Number 381-2024**

Moved by: Councillor Johnston

Seconded by: Councillor Vervoort

That this meeting adjourn at 6:43 p.m.

Carried

---

 Mayor, Heather Watson

---

 Clerk, Martina Chait-Hartwig



COUNTY OF PETERBOROUGH
MUNICIPAL APPRAISAL FORM

APPLICANT: Art & Margaret Van Spronsen

FILE B - 23-24

LOT: 6, CON.: 3 MUNICIPAL WARD: Douro

911 address: 458 Douro Second Line, Roll #: 1522-010-002-10700, Island # or other: \_\_\_\_\_

APPLICATION FOR: Creation of a new lot \_\_\_\_\_

RECOMMENDATION:

Application conforms to the Official Plan. Severed parcel conforms to the Zoning By-Law. Retained parcel conforms to the Zoning By-Law. The Township recommends this application. If the application is approved, the following conditions are requested:

- 1. [X] \$1250 Cash-in-lieu of parkland fee be paid to the Municipality.
2. [X] A 3-metre strip of frontage from the severed parcel be deeded to the Township for road widening purposes. Cost to be incurred by the applicant.
3. [X] A Mitigation Measures Agreement is to be entered into between the Owner and the Municipality and registered on title at the owner's expense, which would recognize the recommendations outlined in Section 5.0 of the Natural Heritage Evaluation prepared by D.M. Wills dated September 2023.
4. [X] A test hole for the septic system be inspected, there is a fee to inspect test holes to ensure a septic system would be viable - current fees are \$150 per severed lot severed and applicant is responsible for the digging of the test holes.

5. [ ] \_\_\_\_\_
6. [ ] \_\_\_\_\_
Comments: \_\_\_\_\_

OFFICIAL PLAN:

Application conforms to the Township Official Plan policies, Section(s) 6.2.2.2, 6.2.2.3 (b) & (d), 6.2.2.5 (a), (d) & (e), 6.1.1 and 7.12.

Severed Parcel:

- a) Proposed Use: Residential
b) Land Use Designation(s): Rural.
c) The proposed use is a permitted one.
d) Special policies affecting the severed parcel (i.e. OPA): \_\_\_\_\_.

Retained Parcel(s):

- a) Proposed Use: Agricultural
b) Land Use Designation(s): Rural.
c) The proposed use is a permitted one.
d) Special policies affecting the retained parcel (i.e. OPA): \_\_\_\_\_.

ZONING BY-LAW:

Severed Parcel:

- a) The severed parcel conforms to the Township Zoning By-Law provisions, Section(s) 9.1.5, 9.2.4 (a) & (b).
b) [X] A rezoning is not required for the severed parcel.
c) [X] A minor variance is not required for the severed parcel.
d) The existing zoning of the severed parcel is: (RU).
e) The recommended zoning of the severed parcel would be: \_\_\_\_\_.

Retained Parcel(s):

- a) The retained parcel conforms to the Township Zoning By-Law provisions, Section(s) 9.1.1, 9.2.1 (a) & (b).
b) [X] A rezoning is not required for the retained parcel.
c) [X] A minor variance is not required for the retained parcel.
d) The existing zoning of the retained parcel is: (RU).
e) The recommended zoning of the retained parcel would be: \_\_\_\_\_.

General:

- a) If the severed and/or retained parcel(s) do not conform to the Zoning By-Law, Council supports a rezoning and/or minor variance.

Completed By: Christina Coulter

Date: October 24, 2024

Amended Date: \_\_\_\_\_

FILE: B-23-24  
DATE: March 14, 2024

**Notice of Application For Consent**

- TO:
- Municipality
  - Planning Department
  - Public Health
  - (ORCA)
  - Septic Comments
  - North Kawartha
  - Douro Dummer
  - (CVCA)
  - (KRCA)
  - CP Rail
  - Public Works
  - City of Peterborough
  - Ministry of Transportation (K) (B)
  - Trent Severn Waterway
  - Chief, First Nation Council
  - Other
  - Bell Canada
  - KPR & PVNCCD School Boards

Pursuant to Section 3(8) of Ontario Regulation 197/96, under the Planning Act, I am enclosing a copy of an application for Consent, for your review and comments to the Peterborough County Land Division Office.

An application for Consent has been made by **Art & Margaret Van Spronsen**

**Purpose and Effect**

The purpose of the application is to request the consent of the Land Division Office to the conveyance of a parcel of land having a frontage of approximately **86.05m** and an area of approximately **0.40 hectares**.

The effect of the application is to create a new residential lot

**Location of Land**

Municipality: (Ward of) **Douro** Lot **6** Concession **3**. Plan \_\_\_\_\_ Block \_\_\_\_\_  
911 Address: 458 Douro Second Line

**Other Planning Act Applications:** This land is the subject of the application is the subject of another application under the Planning Act for:

- Official Plan Amendment: File Number \_\_\_\_\_
- Zoning By-Law Amendment: File Number \_\_\_\_\_
- Minor Variance: File Number \_\_\_\_\_
- Minister's Zoning Order Amendment: File Number \_\_\_\_\_

**Decision and Appeal**

If you wish to be notified of the decision in respect of the proposed consent, you must make a written request to the Land Division Office at the address noted below.

If a person or public body, that files an appeal of a decision in respect of the proposed consent, does not make a written submission to the Land Division Office before it gives or refuses to give a provisional consent, then the Local Planning Appeal Tribunal may dismiss the appeal.

**Last Day for Receiving Comments:**

Pursuant to Section 53 (14) of the Planning Act, if an application is made for a consent and a decision regarding the application is not made within 60 days after the day the application is received by the Land Division Office, the applicant may appeal to the Local Planning Appeal Tribunal. It is the policy of the Land Division Committee that there be 35 consecutive days allowed for agencies to submit their comments.

**Therefore, your comments are required to be received prior to April 11, 2024.** If comments are not received, prior to this date, the Committee may proceed with the hearing of this application.

Please quote the name of the applicant and the file number, which is located at the top right hand corner of the application form, on your correspondence which is directed to this office.

Additional information regarding this application will be available to the public for inspection between 8:30 a.m. to 4:30 p.m. - Monday to Friday at:

**County of Peterborough, Land Division Office,  
County Court House, 470 Water Street, Peterborough, Ontario. K9H 3M3**

If you require this information in an accessible format, please contact Ann Hamilton at ahamilton@ptbocounty.ca 705-743-0380 extension 2406



**Legend**

-  Subject Property
-  Area of Assessment
-  Delineated Wetland
-  Wetland Buffer (30 m)
-  Proposed Severance

**Figure 5 - Constraints Map**

Natural Heritage Evaluation

458 Douro Second Line, Township of Douro-Dummer, Ontario



WILLS

D.M. Wills Associates Limited  
150 Jameson Drive  
Peterborough, Ontario  
Canada K9J 0B9

P. 705.742.2297  
F. 705.741.3568  
E. wills@dmwills.com

<b>Drawn By</b>	TD	<b>Scale</b>	1:1,000
<b>Checked</b>	SF	<b>Date</b>	2024-02-29
<b>Project No.</b>	7508	<b>Drawing File No.</b>	Figure 5





**Legend**

- Subject Property
- Area of Assessment
- Proposed Severance
- Delineated Wetland
- Wetland Buffer (30 m)

**Figure 5 - Constraints Map**

Natural Heritage Evaluation  
 458 Douro Second Line, Township of Douro-Dummer, Ontario



D.M. Wills Associates Limited  
 150 Jameson Drive  
 Peterborough, Ontario  
 Canada K9J 0B9

P. 705.742.2297  
 F. 705.741.3568  
 E. wills@dmwills.com

<b>Drawn By</b>	TD	<b>Scale</b>	1:1,000
<b>Checked</b>	SF	<b>Date</b>	2024-02-29
<b>Project No.</b>	7508	<b>Drawing File No.</b>	Figure 5



COUNTY OF PETERBOROUGH
MUNICIPAL APPRAISAL FORM

APPLICANT: Marwood Payne

FILE B - 88-24

LOT: 6 & 7, CON.: 7 MUNICIPAL WARD: Dummer

911 address: 459 Seventh Line Road-Mid-Dummer, Roll #: 1522-020-002-01000, Island # or other: \_\_\_\_\_

APPLICATION FOR: Creation of a new lot - existing residential

RECOMMENDATION:

Application conforms to the Official Plan. Severed parcel does not conform to the Zoning By-Law. Retained parcel conforms to the Zoning By-Law. The Township recommends this application. If the application is approved, the following conditions are requested:

- 1. [X] Rezoning of the severed parcel to the satisfaction of the Municipality.
2. [X] A 3-metre strip of frontage from the severed parcel be deeded to the Township for road widening purposes. Cost to be incurred by the applicant.
3. [X] That the Building Department be contacted and verification is received to ensure that all of the components of the existing sewage system on the severed lot are located in compliance with the Ontario Building Code (OBC). There is a \$150 fee per severed lot. The fee has been paid.
4. [X] An Ontario Land Surveyor provide a measurement of the frontage on the severed portion to assist with the rezoning.
5. [X] The existing buildings and septic system components and setbacks from the new lot lines be shown on the draft R-Plan and if any deficiencies are found then a rezoning/minor variance will be required.

Comments: If access to the retained parcel is proposed from a portion of the unopened road allowance, improvements to the municipal road allowance will be required as outlined in the policy.

Section 3.1.2 (d) of the Zoning By-law requires that no component of any private sewage system shall be located within 3.1 metres of any side lot line. With a 3 metre setback, the septic system on the severed parcel does not meet the minimum setback requirement. However, the Township passed By-law No. 2024-62 on October 15, 2024 which would remove this requirement. The appeal period for By-law No. 2024-62 expires November 5, 2024. If there are no appeals, the setback of the septic system on the severed parcel would comply with the Zoning By-law. Notwithstanding compliance with this provision of the Zoning By-law, the location of the sewage system must be reviewed to ensure it complies with the OBC.

OFFICIAL PLAN:

Application conforms to the Township Official Plan policies, Section(s) 6.2.2.2, 6.2.2.3 (b) & (d), 6.2.2.5 (a), (d) & (e), 6.1.1 and 7.12.

Severed Parcel:

- a) Proposed Use: Residential - existing.
b) Land Use Designation(s): Rural.
c) The proposed use is a permitted one.
d) Special policies affecting the severed parcel (i.e. OPA): \_\_\_\_\_.

Retained Parcel(s):

- a) Proposed Use: Agricultural
b) Land Use Designation(s): Rural.
c) The proposed use is a permitted one.
d) Special policies affecting the retained parcel (i.e. OPA): \_\_\_\_\_.

ZONING BY-LAW:

Severed Parcel:

- a) The severed parcel does not conform to the Township Zoning By-Law provisions, Section(s) 21.252.2.1.1 (a), 3.1.2 (d).
b) [X] A rezoning is required for the severed parcel.
c) [X] A minor variance is not required for the severed parcel.
d) The existing zoning of the severed parcel is: (S.D. 252).
e) The recommended zoning of the severed parcel would be: S.D. #.

Retained Parcel(s):

- a) The retained parcel conforms to the Township Zoning By-Law provisions, Section(s) 21.252.1.1, 9.1.1, 21.252.2.1.1 (a), 9.2.1 (a).
b) [X] A rezoning is not required for the retained parcel.
c) [X] A minor variance is not required for the retained parcel.
d) The existing zoning of the retained parcel is: (S.D. 252).
e) The recommended zoning of the retained parcel would be: \_\_\_\_\_.

General:

- a) If the severed and/or retained parcel(s) do not conform to the Zoning By-Law, Council supports a rezoning and/or minor variance.

Completed By: Christina Coulter

Date: October 24, 2024

Amended Date: \_\_\_\_\_

FILE: B-88-24  
DATE: October 1, 2024

**Notice of Application For Consent**

- |   |  |  |
|---|--|--|
| TO: <input checked="" type="checkbox"/> Municipality<br><input checked="" type="checkbox"/> Planning Department<br>Septic Comments<br><input type="checkbox"/> Public Health<br><input checked="" type="checkbox"/> Twp Septic Review<br><input checked="" type="checkbox"/> (ORCA) <input type="checkbox"/> (CVCA) <input type="checkbox"/> (KRCA) | <input type="checkbox"/> Public Works<br><input type="checkbox"/> City of Peterborough<br><input type="checkbox"/> Ministry of Transportation (K) (B)<br><input type="checkbox"/> Trent Severn Waterway<br><input checked="" type="checkbox"/> Chief, First Nation Council<br><input type="checkbox"/> CP Rail | <input type="checkbox"/> Other<br><input checked="" type="checkbox"/> Bell Canada<br><br><input checked="" type="checkbox"/> KPR & PVNCCD School<br>Boards |
|---|--|--|

Pursuant to Section 3(8) of Ontario Regulation 197/96, under the Planning Act, I am enclosing a copy of an application for Consent, for your review and comments to the Peterborough County Land Division Office.

An application for Consent has been made by **Marwood Payne** .

**Purpose and Effect**

The purpose of the application is to request the consent of the Land Division Office to the conveyance of a parcel of land having a frontage of approximately **7m** and an area of approximately **0.75 hectares**.

The effect of the application is to create a new residential lot including the existing dwellings.

**Location of Land**

Municipality: (Ward of) **Dummer** Lot **6 & 7** Concession **7**. Plan \_\_\_\_\_ Block \_\_\_\_\_  
911 Address: 459 7<sup>th</sup> Line Rd Mid-Dummer

**Other Planning Act Applications:** This land is the subject of the application is the subject of another application under the Planning Act for:

- |   |                   |
|---|-------------------|
| <input type="checkbox"/> Official Plan Amendment:           | File Number _____ |
| <input type="checkbox"/> Zoning By-Law Amendment:           | File Number _____ |
| <input type="checkbox"/> Minor Variance:                    | File Number _____ |
| <input type="checkbox"/> Minister's Zoning Order Amendment: | File Number _____ |

**Decision and Appeal**

If you wish to be notified of the decision in respect of the proposed consent, you must make a written request to the Land Division Office at the address noted below.

If a person or public body, that files an appeal of a decision in respect of the proposed consent, does not make a written submission to the Land Division Office before it gives or refuses to give a provisional consent, then the Local Planning Appeal Tribunal may dismiss the appeal.

**Last Day for Receiving Comments:**

Pursuant to Section 53 (14) of the Planning Act, if an application is made for a consent and a decision regarding the application is not made within 60 days after the day the application is received by the Land Division Office, the applicant may appeal to the Local Planning Appeal Tribunal. It is the policy of the Land Division Committee that there be 35 consecutive days allowed for agencies to submit their comments.

**Therefore, your comments are required to be received prior to November 5, 2024.** If comments are not received, prior to this date, the Committee may proceed with the hearing of this application.

Please quote the name of the applicant and the file number, which is located at the top right hand corner of the application form, on your correspondence which is directed to this office.

Additional information regarding this application will be available to the public for inspection between 8:30 a.m. to 4:30 p.m. - Monday to Friday at:

**County of Peterborough, Land Division Office,  
County Court House, 470 Water Street, Peterborough, Ontario. K9H 3M3**

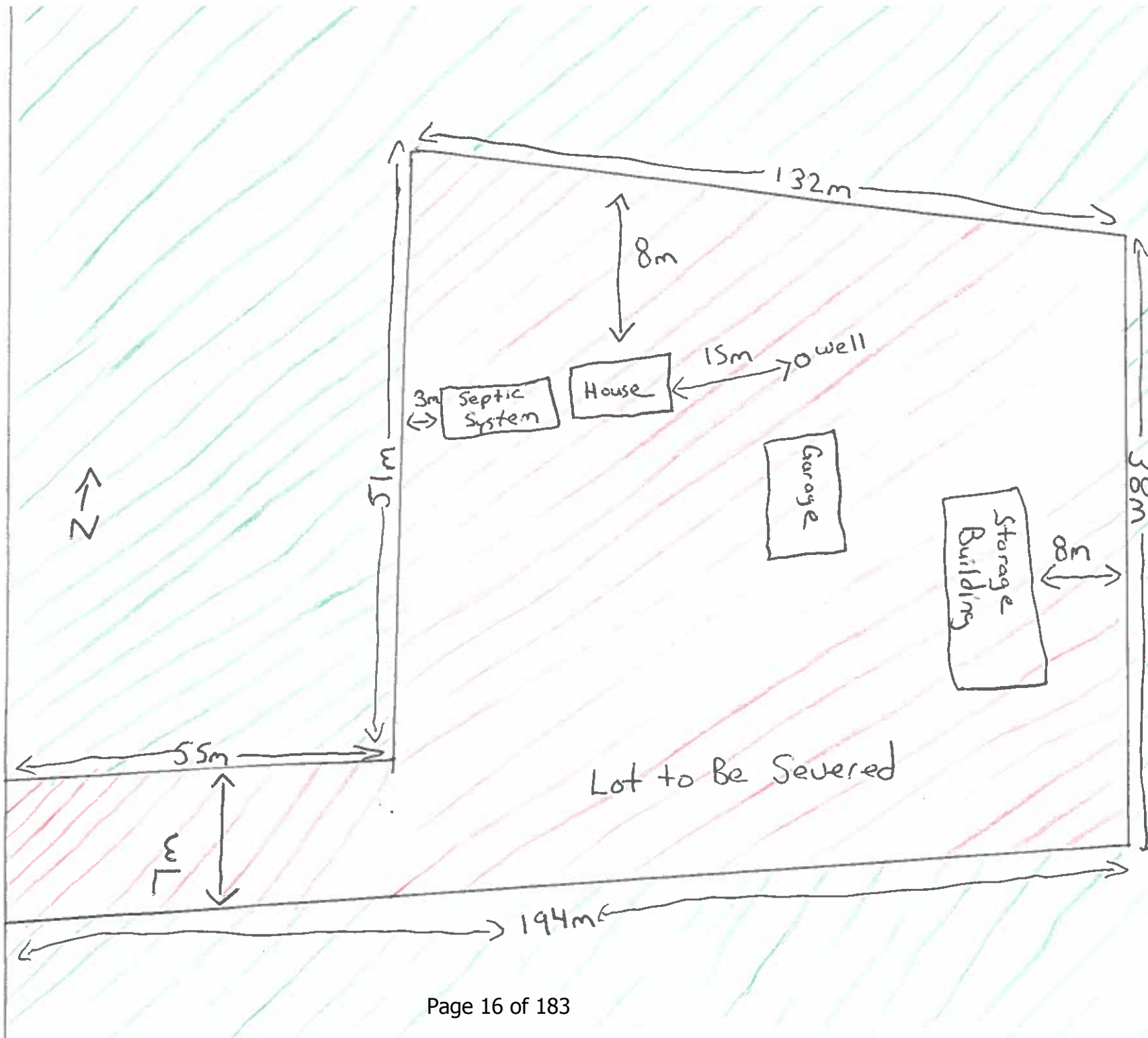
If you require this information in an accessible format, please contact Ann Hamilton at ahamilton@ptbocounty.ca 705-743-0380 extension 2406



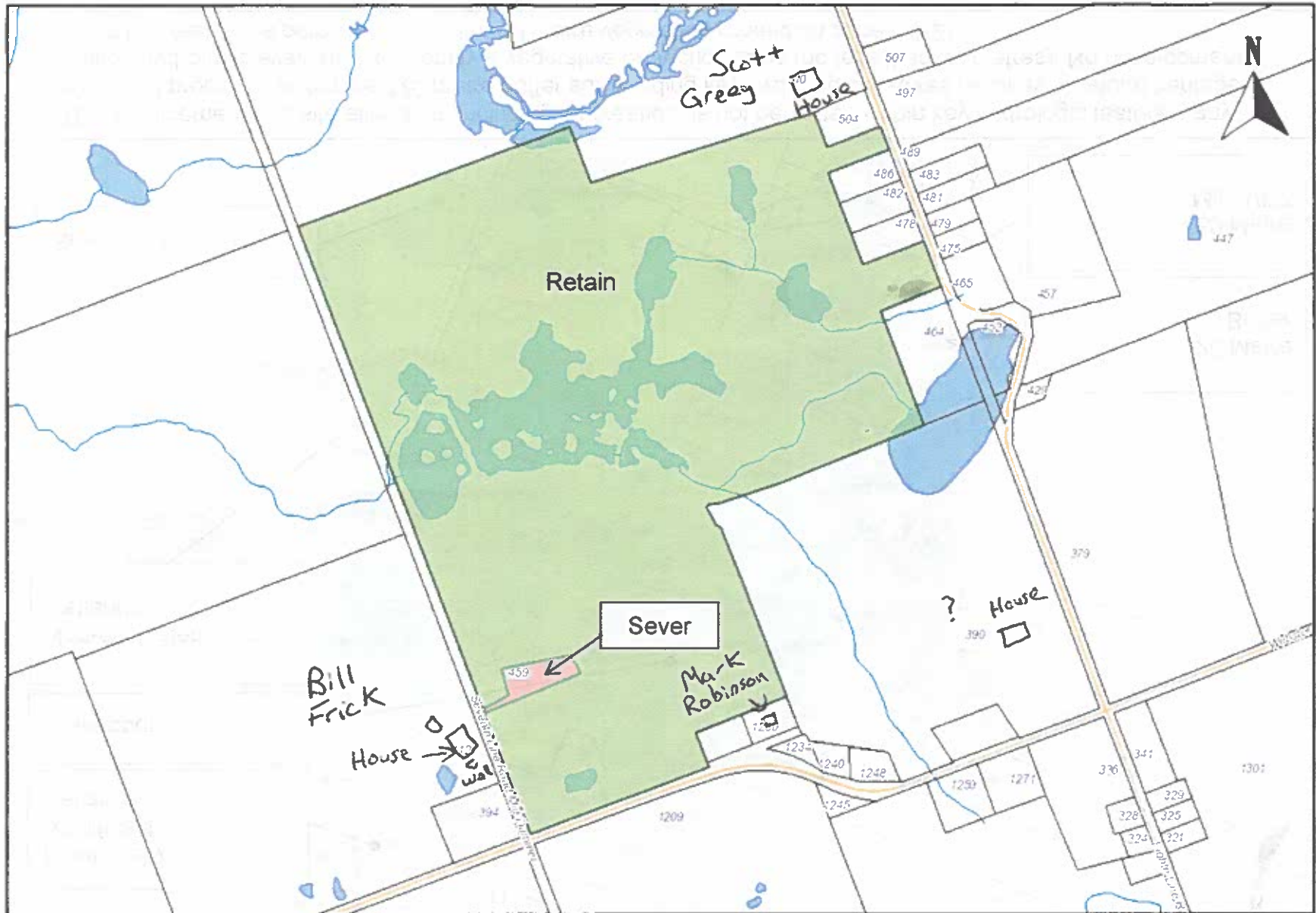
Bill Frick

T+H Line Rd  
Mid-Dummer

Unmaintained Section  
of TTH Line

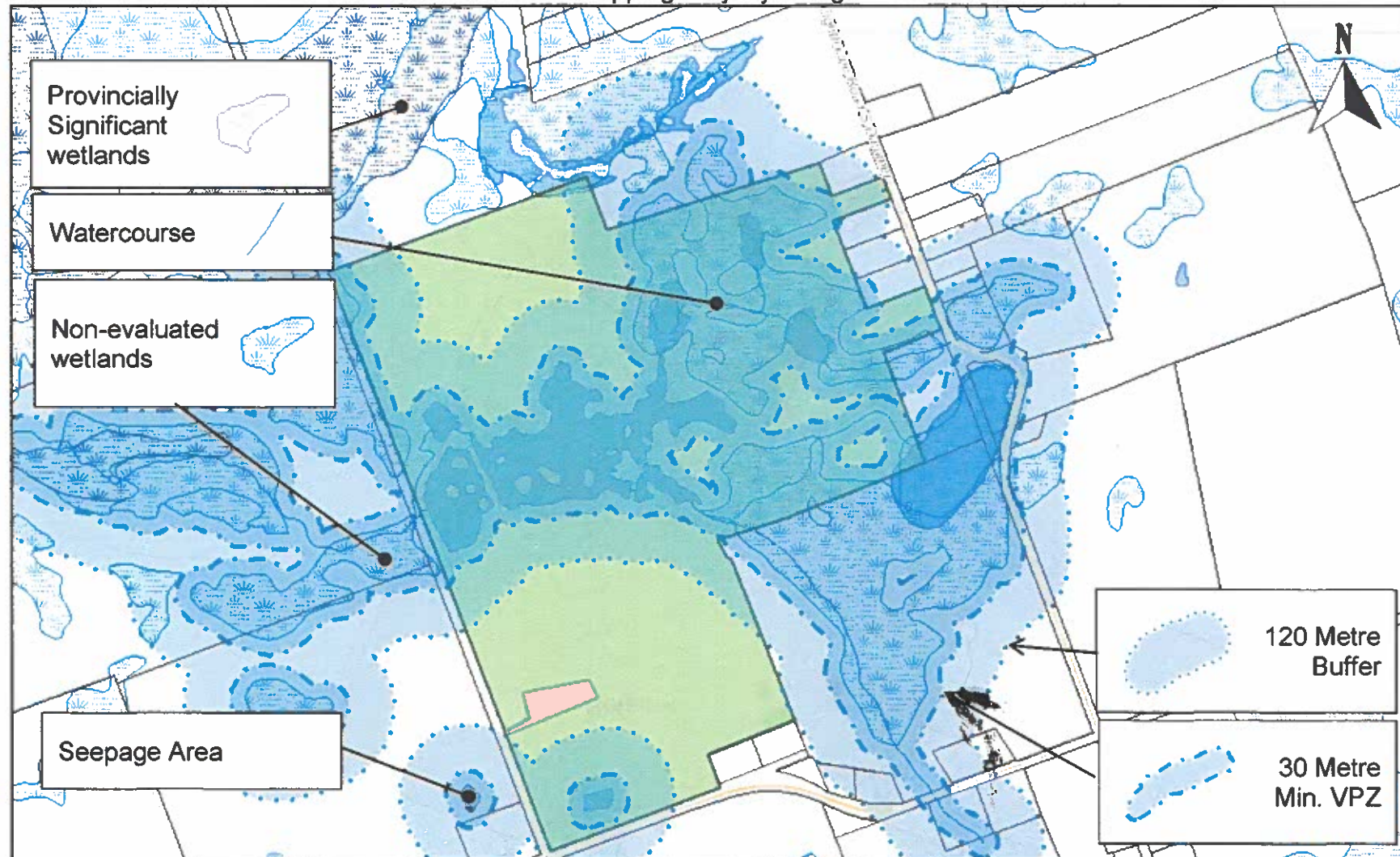


Roll #1522-020-002-01000  
Lot 6 & 7, Concession 7, Dummer Ward





Roll #1522-020-002-01000  
Lot 6 & 7, Concession 7, Dummer Ward  
Constraints mapping: Key Hydrologic Features



NOTE: Development and site alteration, including lot creation, is not permitted within key hydrologic features; any development proposed within the 120 metre buffer surrounding key hydrologic features requires a natural heritage evaluation/hydrologic evaluation to identify a vegetative protection zone (no less than 30 metres). No development, including lot creation, is permitted within the 30 metre vegetation protection zone (VPZ).



COUNTY OF PETERBOROUGH
MUNICIPAL APPRAISAL FORM

APPLICANT: Ken Condon

FILE B - 89-24

LOT: 10, CON.: 6 MUNICIPAL WARD: Douro

911 address: 1020 Centre Road, Roll #: 1522-010-003-08300, Island # or other: \_\_\_\_\_

APPLICATION FOR: Creation of a new lot \_\_\_\_\_

RECOMMENDATION:

Application conforms to the Official Plan. Severed parcel conforms to the Zoning By-Law. Retained parcel conforms to the Zoning By-Law. The Township recommends this application. If the application is approved, the following conditions are requested:

- 1. [X] \$1250 Cash-in-lieu of parkland fee be paid to the Municipality.
2. [X] A 3-metre strip of frontage from the severed parcel be deeded to the Township for road widening purposes. Cost to be incurred by the applicant.
3. [ ] \_\_\_\_\_
4. [ ] \_\_\_\_\_

Comments: The Manager of Public Works has indicated a safe entrance is possible for the severed parcel. Access to the severed parcel is to use the existing gated field entrance, and will require to be updated to a residential entrance.

OFFICIAL PLAN:

Application conforms to the Township Official Plan policies, Section(s) 6.2.2.2, 6.2.2.3 (d), 6.2.2.5 (a), (d) & (e), 6.1.1 and 7.12.

Severed Parcel:

- a) Proposed Use: Residential
b) Land Use Designation(s): Rural.
c) The proposed use is a permitted one.
d) Special policies affecting the severed parcel (i.e. OPA): \_\_\_\_\_.

Retained Parcel(s):

- a) Proposed Use: Agricultural
b) Land Use Designation(s): Rural.
c) The proposed use is a permitted one.
d) Special policies affecting the retained parcel (i.e. OPA): \_\_\_\_\_.

ZONING BY-LAW:

Severed Parcel:

- a) The severed parcel conforms to the Township Zoning By-Law provisions, Section(s) 9.1.5, 9.2.4 (a) & (b).
b) [X] A rezoning is not required for the severed parcel.
c) [X] A minor variance is not required for the severed parcel.
d) The existing zoning of the severed parcel is: (RU).
e) The recommended zoning of the severed parcel would be: \_\_\_\_\_.

Retained Parcel(s):

- a) The retained parcel conforms to the Township Zoning By-Law provisions, Section(s) 9.1.1, 9.2.1 (a) & (b).
b) [X] A rezoning is not required for the retained parcel.
c) [X] A minor variance is not required for the retained parcel.
d) The existing zoning of the retained parcel is: (RU).
e) The recommended zoning of the retained parcel would be: \_\_\_\_\_.

General:

- a) If the severed and/or retained parcel(s) do not conform to the Zoning By-Law, Council supports a rezoning and/or minor variance.

Completed By: Christina Coulter

Date: October 24, 2024

Amended Date: \_\_\_\_\_

FILE: B-89-24  
DATE: October 4, 2024

**Notice of Application For Consent**

- TO:
- Municipality
  - Planning Department
  - Public Health
  - Twp Septic Review
  - (ORCA)  (CVCA)  (KRCA)  CP Rail
  - Public Works
  - City of Peterborough
  - Ministry of Transportation (K) (B)
  - Trent Severn Waterway
  - Chief, First Nation Council
  - Other
  - Bell Canada
  - KPR & PVNCCD School Boards

Pursuant to Section 3(8) of Ontario Regulation 197/96, under the Planning Act, I am enclosing a copy of an application for Consent, for your review and comments to the Peterborough County Land Division Office.

An application for Consent has been made by **Ken Condon** .

**Purpose and Effect**

The purpose of the application is to request the consent of the Land Division Office to the conveyance of a parcel of land having a frontage of approximately **48m** and an area of approximately **0.41**.

The effect of the application is to create a new residential lot

**Location of Land**

Municipality: (Ward of) **Douro** Lot **10** Concession **6**. Plan \_\_\_\_\_ Block \_\_\_\_\_  
911 Address: 1020 Centre Road

**Other Planning Act Applications:** This land is the subject of the application is the subject of another application under the Planning Act for:

- Official Plan Amendment: File Number \_\_\_\_\_
- Zoning By-Law Amendment: File Number \_\_\_\_\_
- Minor Variance: File Number \_\_\_\_\_
- Minister’s Zoning Order Amendment: File Number \_\_\_\_\_

**Decision and Appeal**

If you wish to be notified of the decision in respect of the proposed consent, you must make a written request to the Land Division Office at the address noted below.

If a person or public body, that files an appeal of a decision in respect of the proposed consent, does not make a written submission to the Land Division Office before it gives or refuses to give a provisional consent, then the Local Planning Appeal Tribunal may dismiss the appeal.

**Last Day for Receiving Comments:**

Pursuant to Section 53 (14) of the Planning Act, if an application is made for a consent and a decision regarding the application is not made within 60 days after the day the application is received by the Land Division Office, the applicant may appeal to the Local Planning Appeal Tribunal. It is the policy of the Land Division Committee that there be 35 consecutive days allowed for agencies to submit their comments.

**Therefore, your comments are required to be received prior to November 22, 2024.** If comments are not received, prior to this date, the Committee may proceed with the hearing of this application.

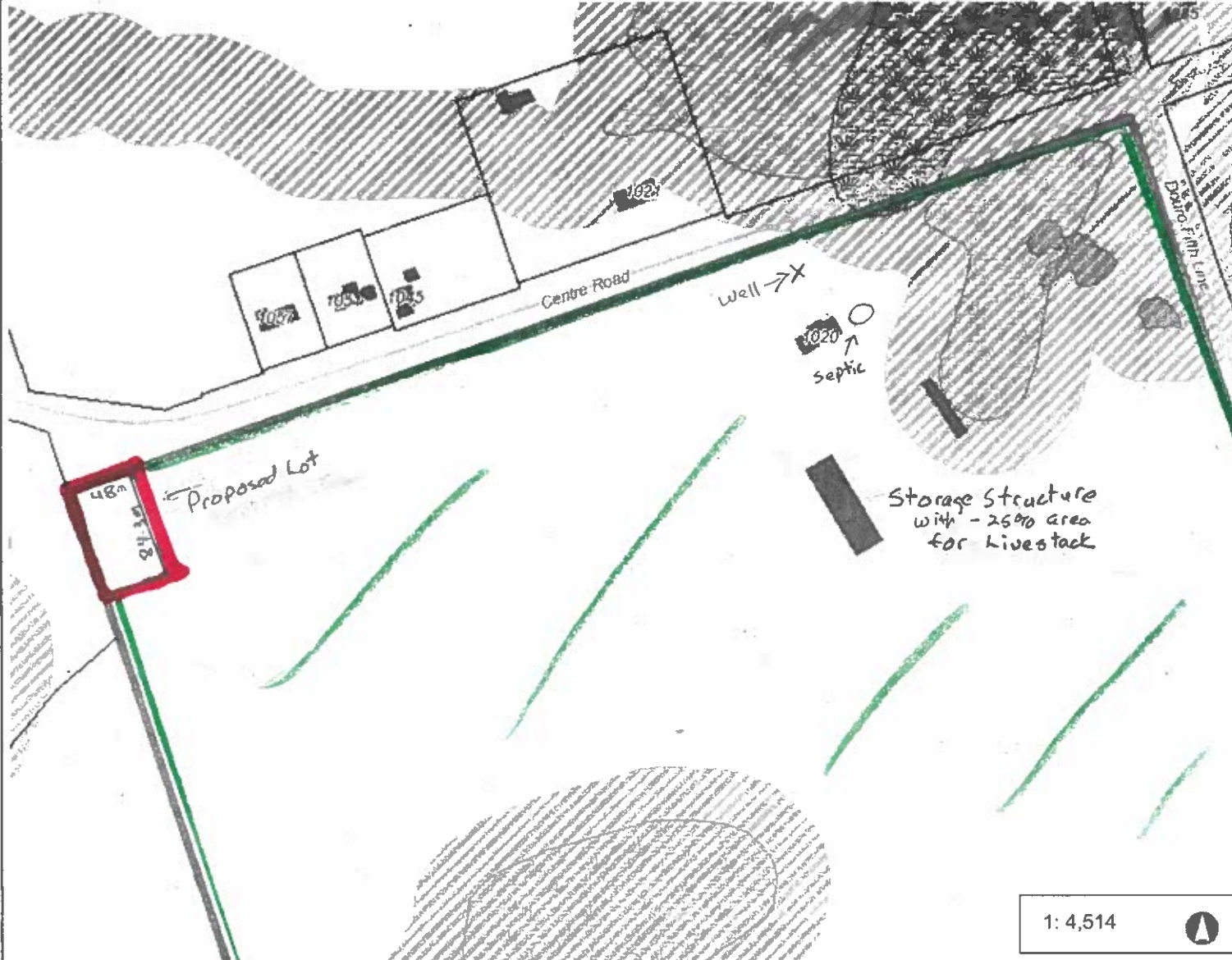
Please quote the name of the applicant and the file number, which is located at the top right hand corner of the application form, on your correspondence which is directed to this office.

Additional information regarding this application will be available to the public for inspection between 8:30 a.m. to 4:30 p.m. - Monday to Friday at:

**County of Peterborough, Land Division Office,  
County Court House, 470 Water Street, Peterborough, Ontario. K9H 3M3**

If you require this information in an accessible format, please contact Ann Hamilton at ahamilton@ptbocounty.ca 705-743-0380 extension 2406





### Legend

- Roads < 50,000
  - PRIV : Private: PRIV
  - City Arterial
  - City Collector and Local
  - City Owned Unclassified
  - Provincial
  - County
  - Township
  - Water Access Only
- Outside Roads < 50,000
  - Major Roads
  - Local Roads
- Building Footprints
- First Nations
- Civic Address
- Parcel Fabric
- Parcel First Nations - Canada I
- ORCA Regulated Areas
- Clean Water Act Policies Apply
- Provincially Significant Wetland
- Locally Significant Wetlands
- Non-evaluated Wetlands
- Lakes - Local Scale
- Municipal Boundary - Upper Tl
- <all other values>
- COUNTY OF PETERBOROUGH

1: 4,514



WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.  
**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

### Notes

Roll #1522-010-003-07900 & 1522-010-003-08300  
Lot 9/10 Concession 6 Douro  
Condon

July 29, 2022

Minimum Distance Separation (MDS)



NOTE: New development, including lot creation, must be located outside the MDS arc(s) shown above.

Scale (Metric)  
1:10,800

October 23<sup>rd</sup>, 2024

Dear Media Partners

It is with profound sadness that all Members of the Board of Directors for the Kawartha Haliburton Children's Aid Society have tendered their resignation, effective October 23, 2024.

We were notified on October 22<sup>nd</sup> that the Ministry of Children, Community, and Social Services intended to install a Supervisor on October 23<sup>rd</sup>, as provided for in legislation (Child, Youth and Family Services Act). Board Members can no longer meet their fiduciary duty when this happens.

The Board worked diligently to avert this from happening; however, the difficulties we experienced are echoed across the sector and were not repairable within the structures and guidelines we must work within.

Although there will be difficult days ahead, we know that the staff and leadership team at Kawartha-Haliburton Children's Aid Society will continue to provide excellent care and service to the children, youth and families in our communities.

Sincerely,

KHCAS Board of Directors





[www.eowc.org](http://www.eowc.org)

## Eastern Ontario Wardens' Caucus Response to the Minister of Finance's 2024 Fall Economic Statement

**October 30, 2024 - Eastern Ontario** – The Eastern Ontario Wardens' Caucus (EOWC) welcomes the Ontario Government's investment in municipalities and the services that they deliver as part of the [2024 Ontario Economic Outlook and Fiscal Review: Building Ontario for You](#), announced today by Minister of Finance, Peter Bethlenfalvy.

The Ontario Government's plan reduces the deficit and retains a path to balance the budget by 2026–2027. Compared to the 2024 Budget, Ontario is also projected to see both stronger growth in real GDP and employment in 2024.

A highlight for Eastern Ontario's small and rural municipalities includes an increase of \$100 million over the next two years to the [Ontario Municipal Partnership Fund](#) (OMPF). This will bring the OMPF funding to \$600 million by 2026. The OMPF is the Ontario Government's main general assistance grant to municipalities.

Infrastructure that enables housing and supports community vitality is the top priority for the EOWC. The EOWC's [Mind The Gap: Municipal Infrastructure Policy Paper](#) highlights that we are a growing economy that can grow more with strategic investments. The current reality for rural and small-urban Ontario communities across the region is that the municipal infrastructure deficit is growing and has deepened by 58% since 2011. The EOWC hopes to continue working with the Ontario Government to unlock long term, sustainable infrastructure funding that will work for Ontario's rural and small-urban municipalities.

Additionally, under our strategic priority of healthcare, the EOWC is pleased to see investments in the [Learn and Stay Grant](#) program. This will help train and retain family physicians in Ontario and increase overall access to primary care. The EOWC is currently partnering with the [Eastern Ontario Physician Recruitment Alliance](#) (EOPRA), which is a regional-municipal partnership of



[www.eowc.org](http://www.eowc.org)

physician recruiters across Eastern Ontario working together to attract Canadians studying abroad as well as international doctors. This alliance supports our region's efforts to ensure people have timely access to primary care.

"On behalf of the Eastern Ontario Wardens' Caucus, I thank Minister Bethlenfalvy for the increased investment in the Ontario Municipal Partnership Fund highlighted in the Fall Economic Statement. This \$100 million boost signifies the Ontario Government's recognition of the unique challenges faced by our 103 rural and small-urban communities. The funding will bolster essential services and also foster growth and resilience across our region," stated EOWC Chair Peter Emon.

## About the EOWC

The EOWC Inc. is a non-profit organization advocating for 103 small urban and rural municipalities across Eastern Ontario. The EOWC covers an area of 50,000 square kilometres, serving 800,000 residents. For more than 20 years, the EOWC has gained support and momentum by speaking with a united voice to champion regional municipal priorities and work with the government, businesses, non-profit organizations, Indigenous leaders, the media, and the public.

## Media Contacts:

Elected officials:

Peter Emon, 2024 Chair, EOWC (Warden of Renfrew County)

613-401-7186

[info@eowc.org](mailto:info@eowc.org)

Bonnie Clark, 2024 Vice-Chair, EOWC (Warden of Peterborough County)

705-927-4207

[info@eowc.org](mailto:info@eowc.org)



[www.eowc.org](http://www.eowc.org)

Staff:

Meredith Staveley-Watson, Manager of Government Relations and Policy,  
EOWC  
647-545-8324  
[info@eowc.org](mailto:info@eowc.org)

**Recommendation:**

That Report Planning-2024-26, dated November 5, 2024, regarding File R-12-24 (Earnshaw) be received; and

That Council receive all comments related to File R-12-24; and

That the By-law to enact the amendment be passed at the appropriate time in the meeting.

**Overview:**

Agent, Josh Bootsma on behalf of the Owners, Mike and Robyn Earnshaw, has applied to amend the existing zoning on their property known municipally as 1450 Mill Line Road, being Roll No. 1522-020-002-10501. The subject property is currently zoned Environmental Conservation Provincially Significant Wetland (EC(P)) and the Special District 114 Zone (S.D. 114) as illustrated on Schedule A2 to By-law No. 10-1996, as amended.

The Owners wish to convert the existing, approximately 65 square metre (700 square foot), structure on the subject property from a honey house to a single detached dwelling. The Owners are also proposing an approximately 63.17 square metre (680 square foot) residential addition to the east of the existing structure.

The proposed development is located within the (S.D. 114) Zone. A single detached dwelling is only permitted as an accessory use to a honey house. A Zoning By-law Amendment is required to allow the existing structure and addition to be used as a single detached dwelling.

The following natural heritage features are located adjacent to or on the subject property:

Permanent stream, species at risk, non-evaluated wetlands, deer wintering areas, Ouse River Wetlands Regionally Significant Life Science Area of Natural and Scientific Interest (ANSI), Ouse (East) River North Provincially Significant Wetland (PSW).

Given the presence of these natural heritage features, a Wetland Assessment prepared by Greer Galloway, dated September 10, 2024 was submitted in support of the application. A copy of the Wetland Assessment is attached to this Report.

Based on the findings of the Wetland Assessment, the Amendment will also place the Provincially Significant Wetland and a 30 metre (98.43 foot) buffer in the Environmental Conservation – Provincially Significant Wetland Zone (EC(P)).

The proposed development is illustrated on the site plan prepared by Three Hills Engineering Ltd., dated May 11, 2024 (Revision 1 09/18/2024), and attached to this Report.

The property was originally rezoned to a Special District through By-law No. 1999-31 to permit the construction of a honey house prior to the erection of a residence on lands that were zoned Environmental Conservation (EC). A building permit (No. 059-99) was issued on June 3, 1999, to erect a honey house 20 feet x 30 feet (600 square feet/55.74 square metres). The property file does not contain any permits for a single detached dwelling.

The effect of the Amendment is to rezone portions of the subject property from the Special District 114 Zone (S.D. 114) to the Residential (R) Zone to permit the conversion and expansion of the existing building to be used as a single detached dwelling. Portions of the subject property will also be rezoned from the Special District 114 Zone (S.D. 114) to the Environmental Conservation Provincially Significant Wetland Zone (EC(P)) to recognize the findings of the Wetland Assessment.

All other applicable provisions of By-law No. 10-1996, as amended will continue to apply.

A copy of the draft By-law is attached to this Report.

Notice of the public meeting was provided on October 11, 2024, by ordinary mail and/or e-mail to all prescribed persons and public bodies and to every person and public body that has provided a written request for Notice.

Notice of the public meeting was circulated by ordinary mail to every owner of land within 120 metres of the subject property on October 11, 2024. Notice of the public meeting was posted on the subject property and on the Township Website.

A copy of the Notice is attached to this Report. The giving of Notice complies with the applicable Regulation of the Planning Act.

**Conformity to Provincial Planning Statement (PPS, 2024):**

Effective October 20, 2024, the Growth Plan and the Provincial Policy Statement were consolidated into one document called the Provincial Planning Statement (PPS, 2024).

The PPS, 2024 is considered a policy statement for the purpose of Section 3 of the Planning Act. All municipal decisions, as well as comments, submissions or advice affecting planning matters, are required to be consistent with the PPS, 2024 pursuant to subsections 3(5) and 3(6) of the Planning Act.

As noted above, the subject property contains and is within 120 metres of a Provincially Significant Wetland (PSW). PPS, 2024 Policy 4.1.4 (a) states that development and site alteration are not permitted in significant wetlands in Ecoregions 5E, 6E and 7E [i.e. the Township of Douro-Dummer]. Policy 4.1.8 states development and site alteration is not permitted on lands adjacent to significant wetlands unless the ecological function of the

adjacent lands has been evaluated and it has been demonstrated that there will be no negative impacts on the natural features or on their ecological functions.

The proposed development is located outside of the PSW, but within 120 metres. The Wetland Assessment prepared by Greer Galloway states that, during the site investigation, the wetland boundary was identified and a 30-metre setback was established to protect the wetland and its ecological functions. Greer Galloway noted that the proposed addition is outside the wetland setback and impacts to wetlands as a result of the addition are not expected.

Although the Life Science ANSI on the property is not identified as Provincially Significant for the purposes of Policy 4.1.5(e) and 4.1.8 of the PPS, 2024, the Wetland Assessment states that the proposed addition will be within the Life Science ANSI, however, significant impacts are not expected as most of the property is covered with meadow vegetation as the property is no longer used for agricultural activities.

To achieve consistency with the PPS, 2024, the wetlands and a 30-metre buffer are proposed to be rezoned to the Environmental Conservation Provincially Significant Wetland Zone (EC(P)). The remainder of the subject property is proposed to be rezoned to the Residential Zone (R) to identify that the property is no longer used for agricultural purposes and to permit the existing structure and addition to be used for residential purposes.

In correspondence dated October 18, 2024, the Otonabee Region Conservation Authority indicated that the proposed development is located within a known natural hazard. The property is traversed with wetland features which are associated with flooding and unstable soils. ORCA noted that the wetland assessment provided with the application did not provide the necessary information to properly identify the wetland boundaries onsite. However, the proposed rezoning of the Provincially Significant Wetland and a 30-metre buffer is sufficient for this application. Therefore, it is the opinion of Otonabee Conservation that the application is consistent with Section 3.1 of the Provincial Policy Statement (PPS), referencing Natural Hazards [now Section 5.2 of the PPS, 2024].

A copy of the ORCA comments are attached to this Report and further comments are outlined below.

The rezoning application has demonstrated consistency with the applicable provisions of the PPS, 2024.

**Conformity to Official Plan:**

The subject property is designated Rural and Provincially Significant Wetland and within the ANSI, Life Science overlay as illustrated on Schedule 'A4-2' to the Official Plan.

The proposed development is located within the Rural designation and Life Science ANSI overlay.

The Rural designation permits low density residential development (S. 6.2.2.2). A maximum of one single detached dwelling is permitted on a lot (S. 6.2.2.3 (b)).

New development may only be established in accordance with the Minimum Distance Separation requirements of the Provincial Policy Statement to protect farm operations from encroachment and to allow for the future flexibility and expansion of existing farm operations (S. 6.2.2.3 (d)). The closest livestock facility appears to be located at 1477 Mill Line Road. Minimum Distance Separation Formula I was calculated for the livestock facility based on assessment information and the proposed development will be located outside of the MDS I Arc.

Section 7.28 of the Official Plan states that "Areas of Natural and Scientific Interest are defined as areas of land and water containing natural landscapes or features that have been identified as having a life science or earth science values related to protection, scientific study or education. Development and site alteration shall not be permitted in significant areas of natural and scientific interest unless it has been demonstrated that there will be no negative impacts on the natural features or their ecological functions."

The Wetland Assessment prepared by Greer Galloway concluded that significant impacts are not expected to the ANSI as most of the property is covered with meadow vegetation as the property is no longer used for agricultural activities.

The application appears to comply with the Official Plan.

### **Comments:**

As of the writing of this Report, one comment was received from a member of the public. The Owner of 1480 Mill Line Road provided written correspondence, dated October 19, 2024, in support of the application. The correspondence indicates they have no objection to the application but does object to the time wasted by and the bureaucracy created by Douro-Dummer. A copy of this correspondence is attached to this Report.

Comments were received from the following agencies:

- Bell Canada: No comments on zoning by-law amendments.
- Enbridge Gas Inc.: No objections to the application.
- Otonabee Region Conservation Authority:

Otonabee Conservation mapping indicates that the proposed development is located within a known natural hazard. The property is traversed with wetland features which are associated with flooding and unstable soils.

The application provided a wetland assessment for the property which did not provide the necessary information to properly identify the wetland boundaries onsite.

The application for the Draft By-law is proposing to rezone the Provincially Significant Wetland and a 30-metre buffer. Staff are of the opinion that this is sufficient for this application as it would cover the feature and likely a buffer area associated with the hazards. Therefore, it is the opinion of Otonabee Conservation that the application is consistent with Section 3.1 of the Provincial Policy Statement (PPS), referencing Natural Hazards.

Otonabee Conservation has reviewed this application through our mandated responsibility under Ontario Regulation 686/21. This application is not creating new or proposing to aggravate existing natural hazards.

Otonabee Conservation mapping indicates that the lands are partially subject to Ontario Regulation 41/24 Otonabee Conservation's "Prohibited Activities, Exemptions and Permits" regulation. Permits from this agency may be required prior to any site alteration or construction in those areas regulated by Otonabee Conservation.

It was determined that the subject property is not located within a vulnerable area that is subject to Trent Source Protection Plan (SPP) policies. Significant drinking water threats are not possible, and a Restricted Land Use Notice is not required.

Copies of these agency comments are attached to this Report.

The application was circulated to Senior Staff on October 11, 2024. As of the writing of this Report, there were no concerns identified by Senior Staff.

### **Conclusion:**

The requested zoning by-law amendment proposes to rezone portions of the subject property from the Special District 114 Zone (S.D. 114) to the Residential (R) Zone and to the Environmental Conservation Provincially Significant Wetland Zone (EC(P)). The rezoning is required to permit the conversion and expansion of the existing building to be used as a single detached dwelling and to implement the findings of the Wetland Assessment prepared by Greer Galloway, dated September 10, 2024.

As applied for, the proposed rezoning meets the intent of municipal and provincial policies.

### **Financial Impact:**

All costs related to the application for a Zoning By-law Amendment are the responsibility of the Owner.





**Service Modernization and Innovation**

Modernizing, refining and innovating services for residents is essential to effectively meet the needs of our community, enhance our operational efficiency, and ensure we remain adaptable in a rapidly changing world.



**Business Attraction, Expansion, and Retention**

Business attraction, expansion, and retention is vital for the economic health and sustainability of our Township, such as job creation, tax revenue, investing in innovation, maintaining our quality of life, and supporting community stability.



**Infrastructure Renewal**

Infrastructure renewal is a critical investment for our Township as it will ensure our adherence to health and safety, economic development, investment attraction, environmental sustainability, quality of life, public confidence, and regional competitiveness.

**Report Approval Details**

Document Title:	R-12-24 (Earnshaw) Public Meeting Report.docx
Attachments:	<ul style="list-style-type: none"> <li>- R-12-24 - Draft By-law.pdf</li> <li>- R-12-24 Application_Redacted.pdf</li> <li>- R-12-24 1132405199 - 1450 Mill Line Road - Site Layout - 24Sept18.pdf</li> <li>- R-12-24 Wetland Assessment_1450 Mill Line Road Property Letter Report.pdf</li> <li>- R-12-24 - ZBA Notice.pdf</li> <li>- R-12-24 (1480 Mill Line Road - no objection) (October 19, 2024).pdf</li> <li>- R-12-24 - Bell (October 11, 2024).pdf</li> <li>- R-12-24 - Enbridge (October 17, 2024).pdf</li> <li>- R-12-24 - ORCA PPLD-2332 (October 18, 2024).pdf</li> </ul>
Final Approval Date:	Oct 30, 2024

This report and all of its attachments were approved and signed as outlined below:

Martina Chait-Hartwig

Todd Davis

**The Corporation of the Township of Douro-Dummer**

**By-law Number 2024-XX**

**Being a By-law to amend By-law Number 10-1996, as amended, otherwise known as "The Township of Douro-Dummer Comprehensive Zoning By-law"**

**Whereas** By-law Number 10-1996, as amended, regulates the use of land and the use and erection of buildings and structures within the Township of Douro-Dummer;

**And Whereas** Section 34 of The Planning Act, RSO 1990, as amended, permits the Council to pass an amending Zoning By-law;

**And Whereas** the Council of the Township of Douro-Dummer deems it advisable to further amend By-law No. 10-1996 as amended;

**Now Therefore** the Council of the Township of Douro-Dummer hereby enacts as follows:

1. Schedule A2 to By-law No. 10-1996, as amended, is hereby further amended by changing the zone category on a portion of lands known municipally as 1450 Mill Line Road and more particularly described as Part Lot 7, Concession 9 (Dummer Ward) being Parts 1 & 2, Plan 45R-11792 from the Special District 114 Zone (S.D. 114) to the Residential Zone (R) and the Environmental Conservation Provincially Significant Wetland Zone (EC(P)) as shown on Schedule "1" attached hereto and forming part of this By-law.
2. Section 21 Special Districts is amended by deleting subsection "21.114 Special District 114 Zone (S.D. 114)" in its entirety.
3. All other relevant provisions of By-law 10-1996, as amended, shall apply.

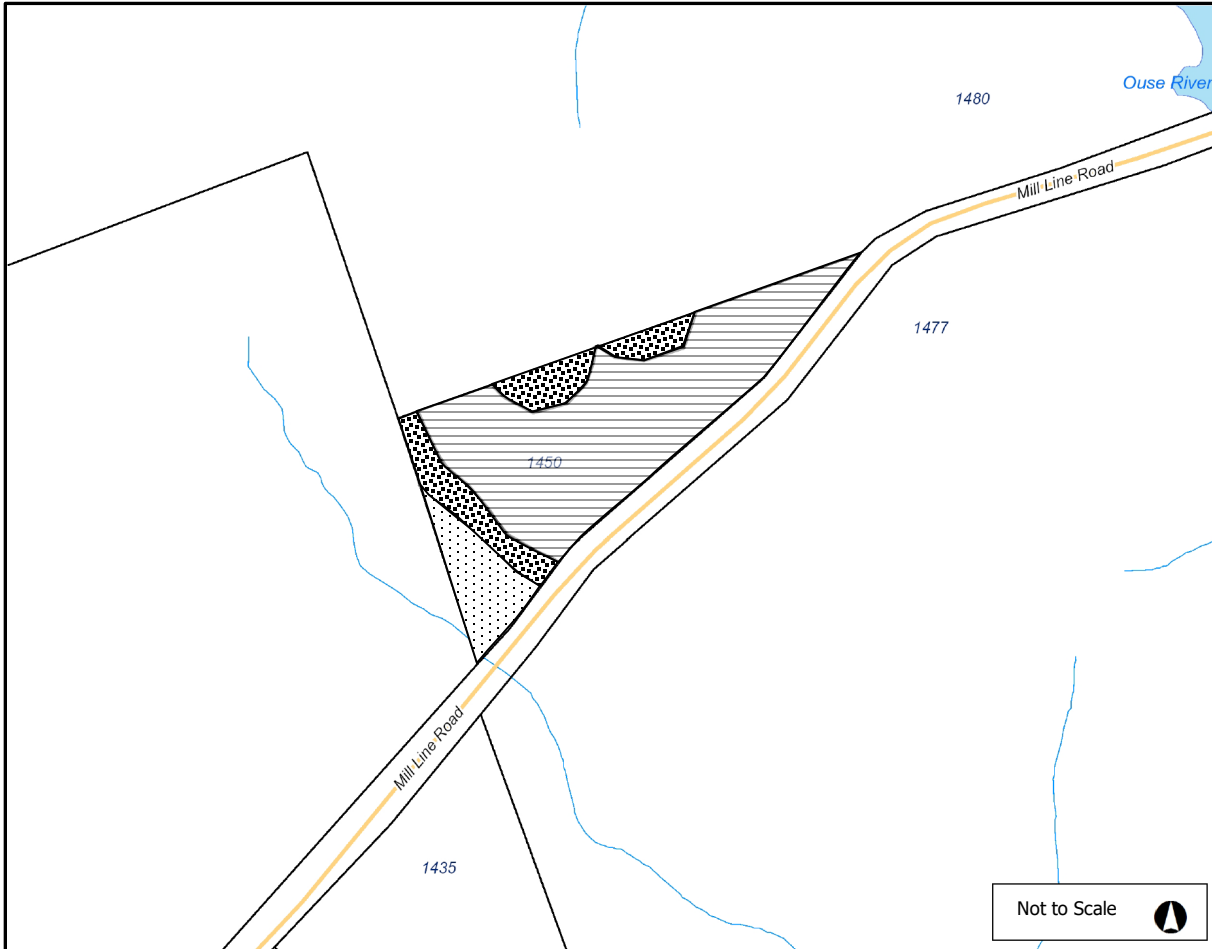
If no notice of objection is filed with the Clerk within the time provided, this By-law shall become effective on the date of passing hereof, subject to the provisions of The Planning Act, RSO 1990, as amended.

Passed in Open Council this 5th day of November, 2024.

\_\_\_\_\_  
Mayor, Heather Watson

\_\_\_\_\_  
Clerk, Martina Chait-Hartwig

Schedule "1" to By-law 2024-XX



**Rezone from the 'Special District 114 Zone (S.D. 114)' to the 'Residential Zone (R)'**



**Area to remain zoned the 'Environmental Conservation Provincially Significant Wetland Zone (EC(P))'**

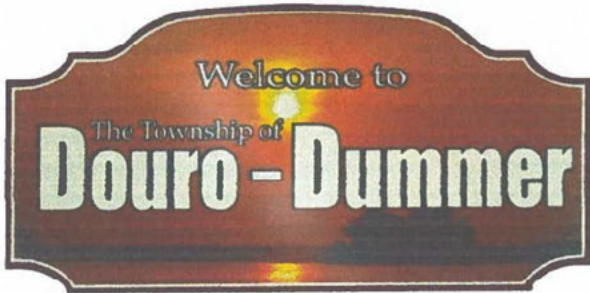


**Rezone from the 'Special District 114 Zone (S.D. 114)' to the 'Environmental Conservation Provincially Significant Wetland Zone (EC(P))'**

**This is Schedule '1' to By-law No. 2024-XX passed this 5th day of November, 2024.**

\_\_\_\_\_  
Mayor, Heather Watson

\_\_\_\_\_  
Clerk, Martina Chait-Hartwig



Office Use Only	
File No.	_____
Date App. Submitted	_____
Application Fee	\$ _____
Date Fee Received	_____
Date Application Deemed Complete	_____
Roll No.	_____

**Township of Douro-Dummer Application for  
Amendment to Zoning By-law #10-1996, as amended**  
(Section 34 of the Planning Act, R.S.O. 1990, c. P. 13, as amended)

**1.0 Applicant Information**

Registered Owner(s): Mike and Robyn Earnshaw  
*(Please Indicate Name(s) Exactly as Shown on the Transfer/Deed of Land)*

Address: 1450 Mill Line Road  
 \_\_\_\_\_  
 \_\_\_\_\_

Phone: (home) \_\_\_\_\_  
 Phone: (cell) \_\_\_\_\_

Email: \_\_\_\_\_  
 Phone: (work) \_\_\_\_\_  
 Fax: \_\_\_\_\_

**2.0 Agent Information**

Authorized Agent (if any): Josh Bootsma, Three Hills Engineering

Address: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Phone: (home) \_\_\_\_\_  
 Phone: (cell) \_\_\_\_\_

Email: \_\_\_\_\_  
 Phone: (work) \_\_\_\_\_  
 Fax: \_\_\_\_\_

**3.0 Other Information – Charges Against the Land**

If known, the name(s) and address(es) of holder(s) of any mortgages, charges or other encumbrance(s) in respect of the subject land: \_\_\_\_\_

**4.0 Legal Description/Location/Property Characteristics/Access to Subject Land:**

County <b>Peterborough</b>		Township <b>Douro-Dummer</b>	Ward (Former Township) <b>Dummer</b>
Concession Number(s) <b>9</b>	Lot Number(s) <b>7</b>	Legal Description: <b>PT 1&amp;2 45R11792</b>	
Registered Plan No:	Lot(s)/ Block No.	Civic/911 Address: <b>1450 Mill Line Road</b>	
Reference Plan No:	Part Number(s):	Are there any easements or restrictive covenants affecting the property? <b>NO</b>	
Date subject land was purchased by current		<b>April 21, 2024</b>	

**4.1 Dimensions of the Subject Land**

Frontage:	Depth:	Area: <b>7.25 Acres</b>
<input type="checkbox"/> Water: _____	<input type="checkbox"/> Min: _____	
<input checked="" type="checkbox"/> Road: <b>1148'</b>	<input type="checkbox"/> Max: <b>551'</b>	

**4.2 Access to the Subject Land**

<b>Access to Subject Property –</b>		<input checked="" type="checkbox"/> <b>Existing</b>	or	<input type="checkbox"/> <b>Proposed</b>
<input checked="" type="checkbox"/> Municipal Road – maintained year round	<input type="checkbox"/> Private Road			
<input type="checkbox"/> County Road	<input type="checkbox"/> Right-of-way			
<input type="checkbox"/> Provincial Highway	<input type="checkbox"/> Water			
<input type="checkbox"/> Other public road (Specify):				
Name of Road/Street:				
<b>If access to the land is by water only:</b>				
Where are parking and docking facilities:				
Approximate distance from subject land:				
Approximate distance from nearest public road:				



**5.0 Official Plan Designation and Zoning**

Official Plan Designation: Rural Provincially Significant Wetland and Life Science ANSI

Please provide an explanation of how the application for rezoning will conform to the Official Plan

The owners intend to use the property as a residence and hobby farm. This aligns with the permitted uses outlined within the Official Plan including: passive outdoor recreation use

and activities connected w/ conservation ... and low density residential development (6.2.2.2)

Zoning By-law : S.D 114 and EC(P)

Is the subject land in an area where zoning conditions apply?  Yes  No. If yes, please explain how the application conforms to the Official Plan policies relating to zoning with conditions: \_\_\_\_\_

**5.1 Density and Height Requirements**

Are there minimum and maximum density requirements on the property:  Yes  No

If Yes, what are they and are they being met? Maximum 1 single-detached dwelling

Are there minimum and maximum height requirements on the property:  Yes  No

If Yes, what are they and are they being met? 9 meters, yes

**6.0 Purpose of the Application**

Please describe the nature and extent of the rezoning request: The purpose of this application is to rezone the property from a honey house to a Rural Zone (RU).

Please explain the reason for the requested rezoning: The current zone limits the development of the property and prevents a family from occupying the space. The intent is to allow the owner to redevelop the existing structure into a single detached dwelling and allow them to construct associated outbuildings (ie detached garage).

**7.0 Settlement/Employment Areas**

Does the application propose to implement or alter a boundary of an area of settlement:  Yes  No If Yes, please explain the details of the Official Plan or Official Plan Amendment that deal with this matter? \_\_\_\_\_

Does the application propose to remove land from an area of employment (Hamlet or Special Industrial properties):  Yes  No If Yes, please explain the details of the Official Plan or Official Plan Amendment that deal with this matter? \_\_\_\_\_

**8.0 Property Characteristics, Access and Servicing Information**

<b>Water Supply:</b>	<p>Please identify the type of water supply serving the subject property:</p> <p><input checked="" type="checkbox"/> Privately-owned/operated individual well  <input type="checkbox"/> Privately-owned/operated communal well  <input type="checkbox"/> Publicly-owned/operated piped water system  <input type="checkbox"/> Lake or other water body  <input type="checkbox"/> Other (specify): _____</p>
<input checked="" type="checkbox"/> Existing <input type="checkbox"/> Proposed	

<b>Storm Drainage:</b>	<p>Please identify the type of storm drainage serving the subject property:</p> <p><input type="checkbox"/> Sewers    <input checked="" type="checkbox"/> Ditches    <input checked="" type="checkbox"/> Swales  <input checked="" type="checkbox"/> Other (specify): <u>sheet flow</u> _____</p>
<input checked="" type="checkbox"/> Existing <input type="checkbox"/> Proposed	

<b>Sewage Disposal:</b>	<p>Please identify the type of sewage disposal serving the subject property:</p> <p><input checked="" type="checkbox"/> Privately-owned/operated individual septic system  <input type="checkbox"/> Privately-owned/operated communal septic system  <input type="checkbox"/> Publicly-owned/operated sanitary sewage system  <input type="checkbox"/> Privy  <input type="checkbox"/> Other (specify): _____</p>
<input checked="" type="checkbox"/> Existing <input type="checkbox"/> Proposed	<p>If the sewage disposal system is proposed, have you obtained a permit from the Township of Douro-Dummer? <input type="checkbox"/> Yes or <input type="checkbox"/> No</p> <p style="text-align: right;">Permit Number: _____</p> <p>Does the application permit development on Privately-owned/operated individual or communal septic systems and more than 4500 Litres of effluent would be produced per day as a result of the development being completed?          (this is usually anything above or beyond a regular single family dwelling)  <input type="checkbox"/> Yes or <input checked="" type="checkbox"/> No</p> <p>If yes, the following are required:</p> <p>a) A servicing options report    Date received: _____          b) A hydrogeological report    Date received: _____</p>

<b>Source Water Protection Area:</b>	<p>Is your property within a vulnerable area as defined by the Source Water Protection Plan?    <input type="checkbox"/> Yes or <input checked="" type="checkbox"/> No</p> <p>If yes, have you attached the required clearance notice from the Risk Management Official with your application?    <input type="checkbox"/> Yes or <input type="checkbox"/> No</p>
--------------------------------------	---



**9.0 Existing and Proposed Uses and Structures:**

What is the subject land currently used for? Zoned for a Honey House

How long have the existing uses of the subject land continued? +/- 25 years

What are the proposed uses of the subject land? Detached Dwelling

In the tables below, please provide information regarding all existing and proposed structures (this information must also be included on the site plan provided with the application). **Please note** that an up-to-date location survey will be required.

**Existing Structures (in metric)**

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Length	Width	Height	Date Constructed
Honey House	72m2	144m2	1	9.7m	6.7m	7.0m	N/A
Acc. Building 1	7.5m2	7.5m2	1				
Acc. Building 2	12.3m2	12.3	1				

Please place an asterisk (\*) beside any existing structure that will be demolished.

**Proposed Structures (in metric)**

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Length	Width	Height
Detached Dwelling	128m2	256m2	1	15.5m	6.7m	7.0m
Acc. Building 1	7.5m5	7.5m2	1			
Acc. Building 2	12.3m2	12.3m2	1			

**Will the proposal add any of the following?**

	Yes	No	If yes, please provide:	Existing	Proposed
Total Living Area	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Size	144m2	256m2
Bedrooms	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Number	1	3
Bathrooms	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Number	1	2
New Plumbing Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Number of Fixtures	5	8

**10.0 Existing and Proposed Structures: Setbacks**

In the tables below, please provide information regarding all existing and proposed structures (this information must also be included on the site plan provided with the application). **Please note** that an up-to-date location survey will be required.

**Existing Structures (in metric)**

Type of Structure	Front Lot Line	Rear Lot Line	Side Lot Line	Side Lot Line	Water yard	Other (specify)
Honey House	46m	54m	54m	237m		
Acc. Building 1	58m	52m	49m	251m		
Acc. Building 2	82m	29m	55m	256m		

Please place an asterisk (\*) beside any existing structure that will be demolished.

**Proposed Structures (in metric)**

Type of Structure	Front Lot Line	Rear Lot Line	Side Lot Line	Side Lot Line	Water yard	Other (specify)
Dwelling	42m	53m	54m	230		
Acc. Building 1	58m	52m	49m	251m		
Acc. Building 2	82m	29m	55m	256m		

**Note:** Information regarding the definitions of the requested dimensions and setbacks can be obtained from the Township's Zoning By-law 2010-55.

**Lot Coverage (in metric and percentage)**

	Existing	Proposed
Principle Use (i.e. Dwelling)	Honey House - 72m <sup>2</sup>	Detached Dwelling - 128m <sup>2</sup>
Accessory Structures	Sheds - 19.8m <sup>2</sup>	Sheds - 19.8m <sup>2</sup>
Total	91.8m <sup>2</sup>	147.8m <sup>2</sup>

**11.0 Other Information:**

Please provide any additional information that you feel may be relevant in the review of this application on additional pages as necessary along with any required studies.

**12.0 Other Planning Applications**

Please indicate if the subject land is or has been the subject of an application under the Planning Act.

Type of Planning Application	Yes	No	File Number	Status
Approval of Plan of Subdivision (under Section 51)	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Consent (Severance) (Section 53)	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Minor Variance (Section 45)	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Other:	<input type="checkbox"/>	<input checked="" type="checkbox"/>		

**13.0 Provincial Plans**

Is the application consistent with the Provincial Policy Statements?  Yes or  No

Is the subject property within an area of land designated under any provincial plan(s)?  Yes or  No  
(Growth Plan applies to the entire County of Peterborough)

If yes, does the application conform to or meet the intent of the provincial plan(s)?  Yes or  No

**14.0 Public Consultation Strategy:**

Please provide a description of the Public Consultation Strategy that will be used by the applicant during the zoning by-law amendment process to ensure that the public is consulted, please attached additional pages if needed:

Mike and Robyn have spoken to their adjoining neighbors and discussed the rezoning with them. Enclosed with this application is a letter signed by those neighbors supporting this effort.

Public meeting as prescribed by the Planning Act

**15.0 Authorization by Owner to Appoint an Agent:**

I/We Mike and Robyn Earnshaw, being the owner(s) of the subject land, hereby, authorize \_\_\_\_\_ to be the applicant in the submission of this application.

Signature \_\_\_\_\_

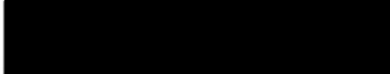
Date Sept 25, 2024

Signature \_\_\_\_\_

Date Sept 25 2024

**16.0 Freedom of Information:**

For the purposes of the Freedom of Information and Protection of Privacy Act, I/We authorize and consent to the use by or the disclosure to any person or public body or publishing on the Municipal website any information that is collected under the authority of the Planning Act for the purposes of processing this application.

 \_\_\_\_\_

Owner/Applicant/Agent Signature

Sept 25 2024

Date

 \_\_\_\_\_

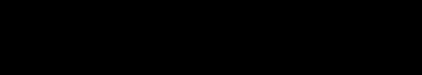
Owner/Applicant/Agent Signature

Sept 25 2024

Date

**17.0 Access to Property:**

I/We Mike and Robyn Earnshaw, hereby, authorize the members of the Council of the Township of Douro-Dummer or their agent(s)/representative(s) to attend at the subject property located at [insert address] 1450 Mill Line Road.

 \_\_\_\_\_

Owner/Applicant/Agent Signature

Sept 25 2024

Date



**18.0 Declaration of Applicant:**

I/we Mike + Robyn Earnshaw of the Douro Dummer in the  
(name of owner(s)/agent(s) (city/town/township in which you reside)

Peterborough in Ontario solemnly  
(County/Upper-tier municipality, if applicable) (Province/Territory)

declare that:

All the statements contained in this application and provided by me are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath

Declared before me at the Township of Douro-Dummer in the County of Peterborough this 25 day of Sept, 2024.

[Redacted Signature]

Signature of Commissioner, etc.

Donna Kelly  
Deputy Treasurer /Tax Clerk  
Commissioner of Oath

To be signed in the presence of a Commissioner for taking affidavits

[Redacted Signature]

Owner/Applicant Agent Signature

[Redacted Signature]

Owner/Applicant Agent Signature

This application must be accompanied by the Township of Douro-Dummer Zoning By-law Amendment Fee (\$1650.00) plus the ORCA Fee in cash, by Interac or cheque made payable to the Treasurer of the Township of Douro-Dummer).

Personal information contained on this form, collected pursuant to the Planning Act, will be used for the purpose of responding to the initial application. Questions should be directed to the Freedom of Information and Privacy Coordinator at the institution conducting the procedures under the Act.

File Name/No. \_\_\_\_\_  
Roll No. \_\_\_\_\_

### Affidavit

In the Matter of a **Zoning By-law** application to the Township of Douro-Dummer,

I/We, Mike and Robyn Earnshaw, make oath and say that:  
*[Print Owner/Applicant/Agent name]*

- 1. I am: *[Place a clear mark within the square opposite one of the following paragraphs that describes capacity of deponents.]*
  - the applicant or one of the applicants in the Application(s).
  - the authorized agent acting in this matter for the applicant or applicants.
  - an officer of the corporate applicant named in the Application(s).
  
- 2. On or before the *[Insert date]* \_\_\_\_\_, I will ensure that the notice or notices of the Application(s) provided to me (or the Applicant, as the case may be) by the Township of Douro-Dummer have been posted so as to be clearly visible and legible from a public highway, or other place to which the public has access, at every separately assessed property in the area that constitutes the subject land of the Application(s) or, where posting on the property was impractical, at a nearby location so as to adequately indicate to the public what property is the subject of the Application(s).  
**Should the notice(s) be removed, by any means from the posting area(s), I will immediately contact the Township of Douro-Dummer Planning Department for replacement copies of the notice(s).**

Declared before me at the Township of Douro-Dummer in the County of Peterborough this 25 day of Sept, 2024.

\_\_\_\_\_  
Signature of Commissioner, etc.  
Donna Kelly  
Deputy Treasurer /Tax Clerk

**To be signed in the presence of a Commissioner for taking affidavits**

\_\_\_\_\_  
Owner/Applicant Agent Signature  
\_\_\_\_\_  
Owner/Applicant Agent Signature

**Note:** Failure to post the notices, as required by this Affidavit, may result in additional costs and/or delays with your application.



## Township of Douro-Dummer

### Planning Application Costs Acknowledgement Form

I/We, Milce & Robyn Earnshaw  
[Print Owner/Applicant/Agent name]

**do** hereby acknowledge and agree that the payment of the fee that is submitted with this application for a Zoning By-law Amendment, as being an application fee only, will be used to defray the costs of processing this application, and;

**do** also hereby acknowledge and agree to assume all costs\*\* incurred by the Township of Douro-Dummer associated with the processing of this application that exceed the amount of the application fee, including, but not restricted to, Professional Planning Fees, Engineering Fees and Legal Fees, in addition to the municipal costs associated with this application, and;

**do** also hereby acknowledge and agree to assume all costs\*\* incurred by the Township of Douro-Dummer associated with any Appeal to the Ontario Land Tribunal with respect to this application.

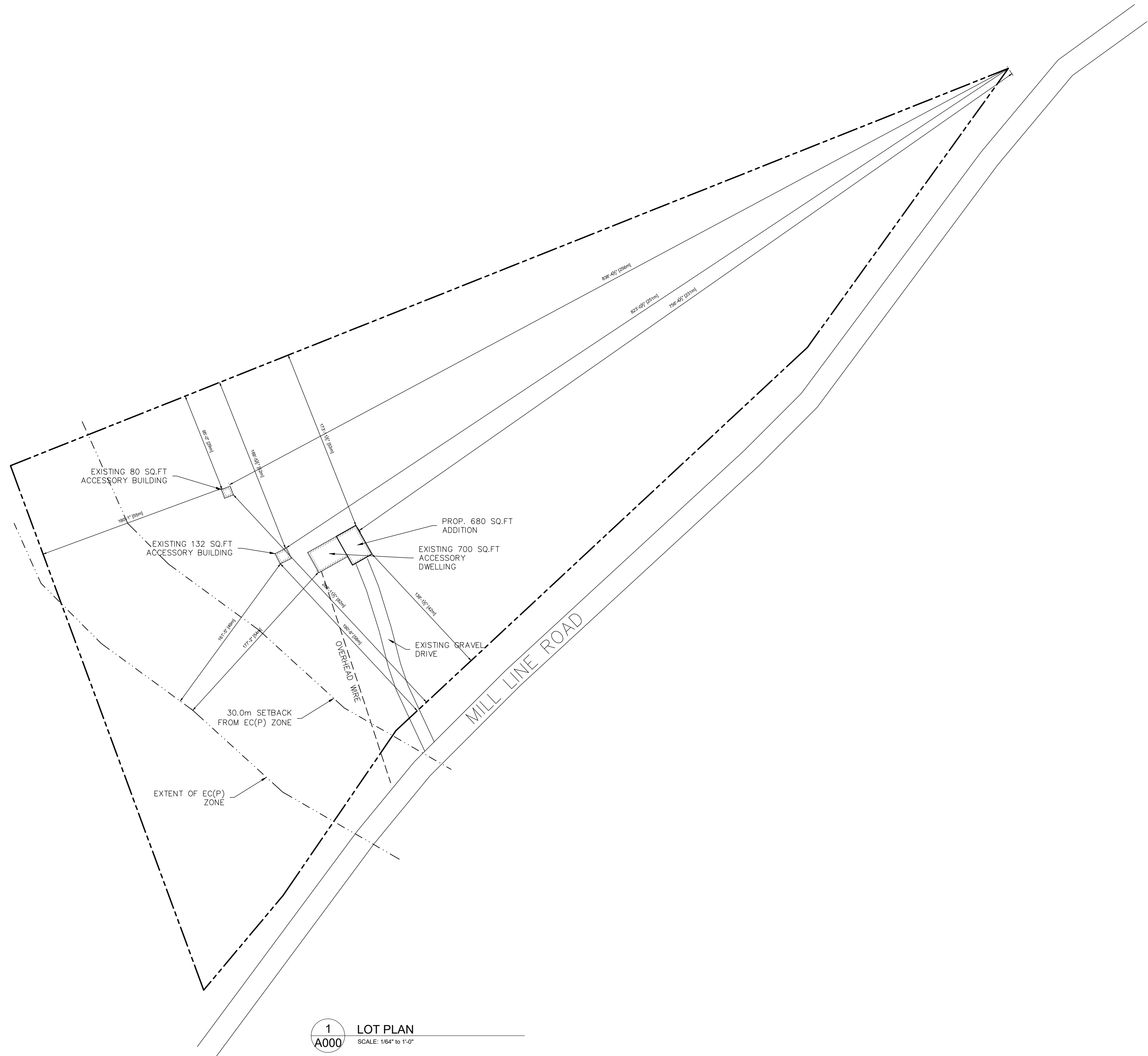
Dated this 25 day of Sept, 2024.

  
\_\_\_\_\_  
Owner/Applicant/Agent Signature

\*\* Written consent from the applicant will be obtained prior to any such additional costs being incurred.



LEGEND:



1 LOT PLAN  
A000 SCALE: 1/64" to 1'-0"

NO.	DATE	REVISION	APPR.
1	09/18/2024	ISSUED FOR RE-ZONING	M.C.V.



**THREEHILLS**  
ENGINEERING LTD

334 FRONT ST.  
BELLEVILLE, ON  
K8N 2Z4

613-902-0036  
844-4-THILLS  
INFO@THREEHILLS.CO  
WWW.THREEHILLSENGINEERING.COM

PROJECT:  
**1450 MILL LINE RD,  
NORWOOD, ON.**

DWG TITLE:  
**SITE LAYOUT**

PROJECT # **1132405199**

DISCIPLINE: **ARCHITECTURAL - STRUCTURAL**

DESIGNED	J.B.		
DRAWN	J.B.	PROJ. MGR.	J.B.
CHECKED	M.C.V.	CREATED ON	11 MAY 2024

DWG. NO. **A000**





G R E E R  
G A L L O W A Y  
C O N S U L T I N G  
E N G I N E E R S

September 10, 2024

Mike Earnshaw  
1450 Mill Line Road  
Norwood, ON  
K0L 2V0

**Re: Wetland Assessment for the property located at 1450 Mill Line Road, Township of Douro - Dummer, County of Peterborough, Ontario**

Dear Mr. Earnshaw,

I am pleased to provide this letter with the results of the site assessment carried out on August 27<sup>th</sup>, 2024 on your property located at 1450 Mill Line Road, Norwood, Township of Douro - Dummer, County of Peterborough.

According to the Township Douro -Dummer Comprehensive Zoning By-law (July 2024) the property is zoned Honey House. You are applying for an amendment of the Zoning By-law to change the zoning from Honey House to Rural (RU).

Also, you want to build an addition on the east side of the existing dwelling. See site layout in Appendix A. Based on the County of Peterborough online mapping, wetland is present on your property and adjacent land to the west and north. According to the Ministry of Natural Resources and Forestry online Mapping, part of the Ouse (East) River North Provincially Significant Wetland and the Area of Natural and Scientific Interest (ANSI) – Life Science Provincially/Regionally are within the property.

Prior to approval of any development on the property, the Township of Douro - Dummer is requesting to provide information regarding determination of wetland boundaries and application of required setbacks, as well as a statement that the property has sufficient space to accommodate the proposed addition and that significant natural heritage features will not be impacted by the proposed addition.

The property is triangle - shaped, approximately 2.5-ha (6.35 acres) in size. The property is bounded to the north and west by wetland and forest, and to the south by Mill Line Road, wetland and rural residential. See attached property map.

The area where the property is located is relatively undulated with a maximum elevation of 233 metres above sea level (mASL). Based on onsite observation, it is suggested that drainage in the area is to the east and west. The highest elevation in the property was observed on the northwest part and the lowest on the northcentral part.

The bedrock geology in the area where the property is located consists of shales and limestones of the middle Ordovician age. This sedimentary sequence was laid down over older Precambrian-age rock of the Grenville Province beginning in the middle Ordovician (approximately 460 million years ago) as part of a continent-wide marine transgression that deposited, in order, the Shadow Lake, Gull River, Bobcaygeon, Verulam and Lindsay Formations (Armstrong and Carter, 2010). The Bobcaygeon Formation overlies the Gull River Formation and it is the uppermost bedrock unit beneath the subject site. It is a light grey-brown to blue-grey to grey-

1620 Wallbridge Loyalist Road  
R.R. #5  
Belleville, Ontario  
K8N 4Z5

Telephone  
(613) 966-3068

E-mail  
Belleville@greergalloway.com



G R E E R  
G A L L O W A Y  
C O N S U L T I N G  
E N G I N E E R S

■

1620 Wallbridge Loyalist Road

R.R. #5

Belleville, Ontario

K8N 4Z5

■

Telephone

(613) 966-3068

■

E-mail

Belleville@greergalloway.com

brown, fine- to coarse-textured fossiliferous limestone. Thin shale interbeds and partings are encountered within the limestone and these increase in abundance upward while crinoidal grainstones and nodular textures are more common in the lower part of the Formation. The overburden geology is composed of shallow deposits of very stony, calcareous, recessional moraine till overlying the limestone bedrock. The thickness of the overburden is between 30 and 50 cm.

The property is located approximately 6 km north of the Village of Norwood. The land use in the area is rural and agricultural. On August 27<sup>th</sup>, 2024 a site visit was performed by Yazmin Ramirez, Biologist from the Greer Galloway Group to confirm presence of wetland in and adjacent to the subject property. The property is covered with vegetation except where the dwelling, proposed addition, sheds, and driveway are located. Most of the property is covered with meadow vegetation with forest vegetation found along the west property boundary. Wetland vegetation within the property is found on the southwest corner of the property. The wetland extent to adjacent land to the west and north. Treed hedgerows are found along the north and south property lines and middle of the property in a north to south direction. Tree species found include eastern white cedar (*Thuja occidentalis*), white spruce (*Picea glauca*), balsam fir (*Abies balsamea*), and eastern red cedar (*Juniperus virginiana*). A photolog showing the existing conditions of the property is included in Appendix B.

Access to the property is via Mill Line Road. There is a driveway in the property that provides access to the dwelling. In the forest on the west side of the property, the slope is steep, and a lot of boulders are found exposed and covered with moss. Tree species observed included white spruce, balsam fir, eastern white cedar, bur oak (*Quercus macrocarpa*), American basswood (*Tilia americana*), red maple (*Acer rubrum*), sugar maple (*Acer saccharum*), paper birch (*Betula papyrifera*), red oak (*Quercus rubra*), eastern hemlock (*Tsuga canadensis*), eastern white pine (*Pinus strobus*), and white ash (*Fraxinus americana*). The shrub layer is almost absent or composed mainly of saplings of the tree species. Herbaceous species found include poison ivy (*Toxicodendron radicans*), western brackenfern (*Pteridium aquilinum*), wild sarsaparilla (*Aralia nudicaulis*), Canada mayflower (*Maianthemum canadense*), common helleborine (*Epipactis helleborine*), gay wings (*Polygala paucifolia*), sedges and seedlings of the tree species.

The wetland in the property and adjacent land to the west is a marsh dominated with cattail species. Species observed include narrow-leaved cattail (*Typha angustifolia*) and broad-leaved cattail (*Typha latifolia*), slender willow (*Salix petiolaris*), reed canary grass (*Phalaris arundinacea*), Canada bluejoint (*Calamagrotis canadensis*), reedtop grass (*Agrostis gigantea*), eastern marsh fern (*Thelypteris palustris*), bitter nightshade (*Solanum dulcamara*), sensitive fern (*Onoclea sensibilis*), spotted touch-me-not (*Impatiens capensis*), white meadowsweet (*Spiraea alba*), and riverbank grape (*Vitis riparia*).

Wetland was found on adjacent land to the north. The type of wetland observed is swamp. The wetland is in a low area that is separated from the property by a line of trees that are present along the property line. Plant species found in the wetland include eastern white cedar, balsam fir, black ash (*Fraxinus nigra*), spotted touch-me-not, slender white aster (*Aster borealis*), lady fern (*Athyrium filix-femina*), sensitive fern, Canada nettle (*Laportea canadensis*), bitter nightshade, horsetail (*Equisetum sp.*), water plantain (*Alisma plantago-aquatica*), and water hemlock (*Cicuta douglasii*).



**G R E E R  
G A L L O W A Y**  
C O N S U L T I N G  
E N G I N E E R S



1620 Wallbridge Loyalist Road

R.R. #5

Belleville, Ontario

K8N 4Z5



Telephone

(613) 966-3068



E-mail

Belleville@greergalloway.com

In the area where the lowest elevation was observed, moist-wet conditions were observed. This area is approximately 90 m<sup>2</sup> and surrounded by upland herbaceous species. Species found include slender willow, slender white aster, redtop grass, red-osier dogwood (*Cornus sericea*), white meadowsweet, spotted joe-pye-weed (*Eutrochium maculatum*), and green bulrush (*Scirpus atrovienis*).

As previously mentioned, the property is mostly covered with herbaceous species. Herbaceous species found include smooth brome (*Bromus inermis*), Canada goldenrod (*Solidago canadensis*), elmleaf goldenrod (*Solidago ulmifolia*), bird's-foot trefoil (*Lotus corniculatus*), goat's beard (*Tragopodon dubius*), tufted vetch (*Vicia cracca*), common milkweed (*Asclepias syriaca*), butter-and-eggs (*Linaria vulgaris*), poison ivy, wild carrot (*Daucus carota*), dog-strangling vine (*Vincetoxicum rossicum*), and riverbank grape.

During the site investigation the wetland boundary was identified and a 30 setback was established to protect the wetland and its ecological functions. See attached property plan. Any development in the property should be outside the 30 m setback. You are proposing an addition on the east side of the existing dwelling. The addition is outside the wetland setback. Impacts to wetlands as a result of the addition are not expected. The proposed addition will be within the ANSI – Life Science; however, significant impacts are not expected as most of the property is covered with meadow vegetation as the property no longer is used for agricultural activities.

We trust that this brief letter is complete and sufficient for your present requirements.

All of which is respectfully submitted.

**THE GREER GALLOWAY GROUP INC.  
CONSULTING ENGINEERS**

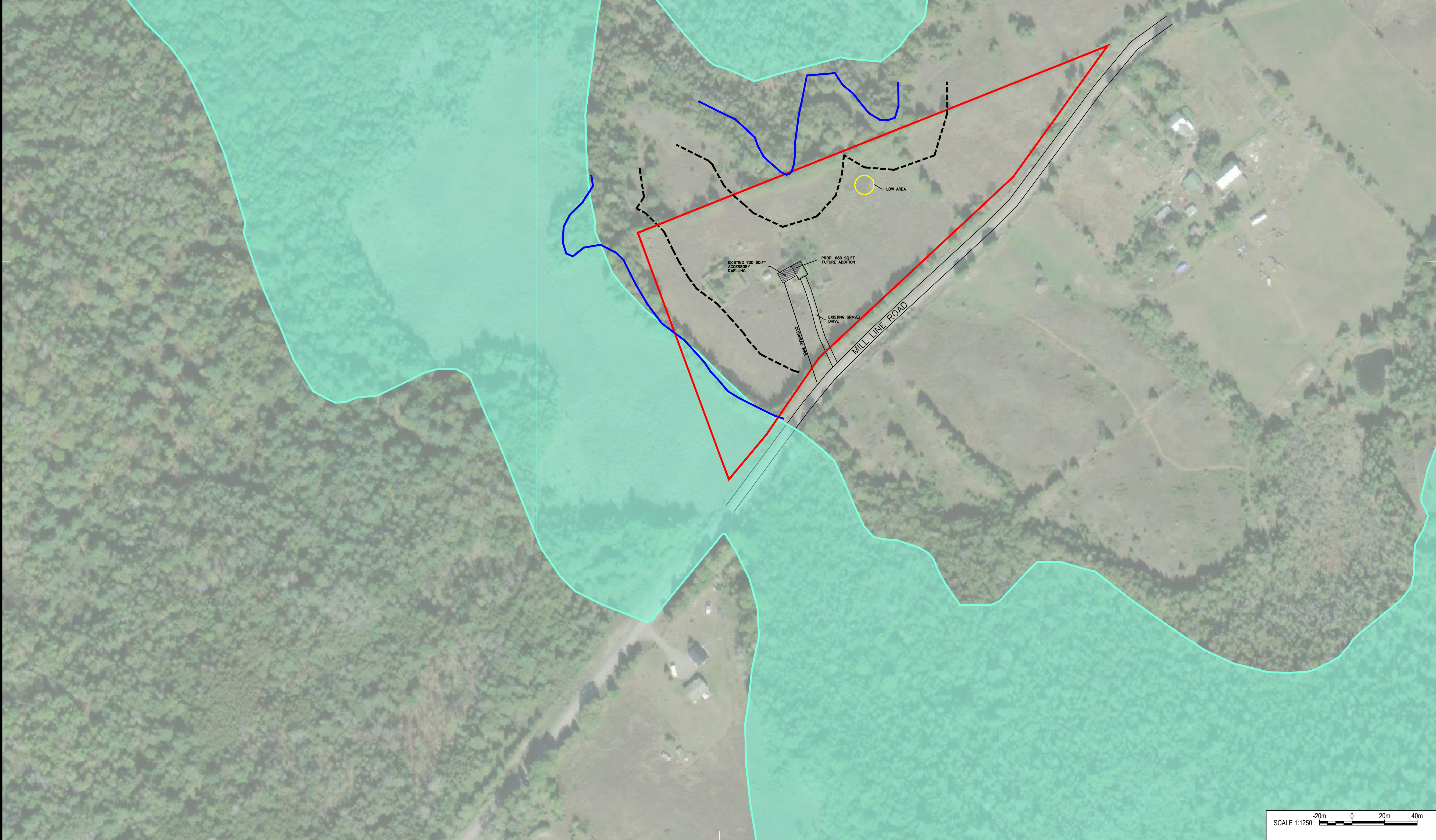
Yazmin Ramirez, M.Sc.  
Senior Biologist/Ecologist

# Figure





SITE LOCATION



- NOTES:
1. ALL WORK SHALL BE IN ACCORDANCE WITH RELEVANT CODES AND GUIDELINES.
  2. ALL DRAWINGS AND ADDENDA ARE TO BE READ AS, AND IN CONJUNCTION WITH THE SPECIFICATIONS.
  3. ALL EQUIPMENT SHALL BE INSTALLED AS SPECIFIED OR APPROVED EQUIVALENT.
  4. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH WORK AND BE RESPONSIBLE FOR SAME.
  5. CONTRACTOR MUST REPORT ANY DISCREPANCIES TO ENGINEER FOR RESOLUTION BEFORE COMMENCING THE WORK.
  6. ANY CHANGES MUST BE APPROVED BY THE ENGINEER.

- A A DETAIL NO.
- B B DRAWING NO. - WHERE DETAILED

- PROPERTY BOUNDARY
- OUSE (EAST) RIVER NORTH PSW
- 30M SETBACK
- WETLAND BOUNDARY
- LOW AREA

01	-	YY/MM/DD
----	---	----------

REVISION	DESCRIPTION	DATE
----------	-------------	------

NORTH	STAMP

PROJECT  
**1450 MILL LANE ROAD ADDITION**  
NORWOOD, ONTARIO

DRAWING TITLE  
**WETLAND BOUNDARY & PROPOSED ADDITION**

DESIGNED BY  
Y. RAMIREZ

DRAWN BY  
B. CRUZ-FUENTES

REVIEWED BY  
Y. RAMIREZ

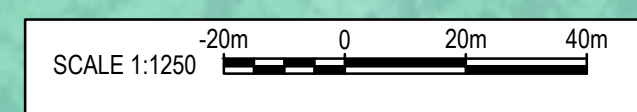
APPROVED BY  
Y. RAMIREZ

PROJECT DATE  
2024/09/03 (YY/MM/DD)

PROJECT #  
24-1-5723

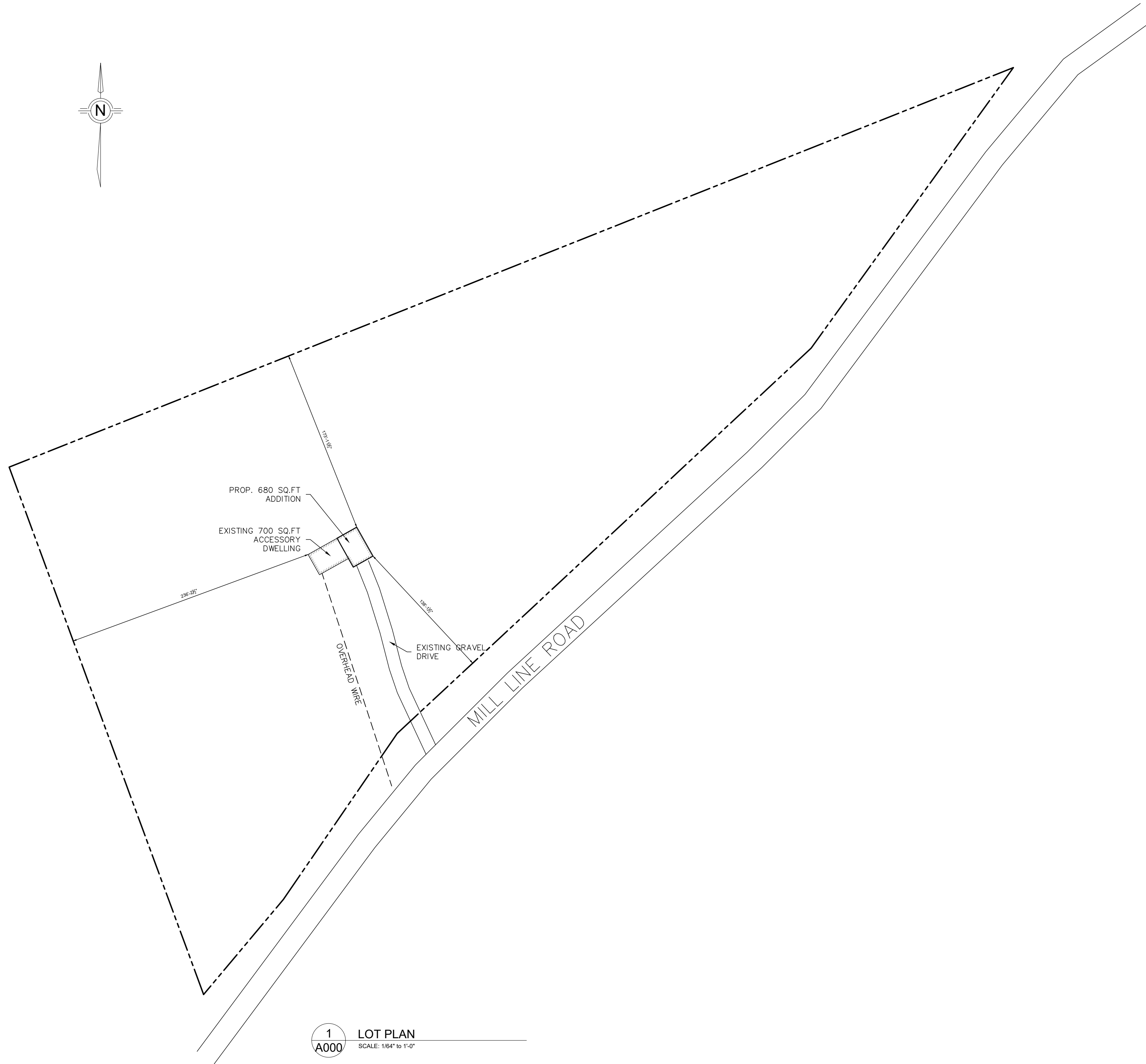
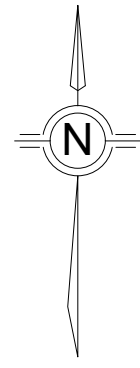
DRAWING #  
SP1

DRAWING SCALE (ISO A1)  
HOR: 1 : 1250  
VER: N/A





# Appendix A Site Layout



1 LOT PLAN  
A000 SCALE: 1/64" to 1'-0"



LEGEND:

NO.	DATE	REVISION	APPR.
1	06/28/2024	ISSUED FOR REVIEW	M.C.V.



**THREEHILLS**  
ENGINEERING LTD  
233 FRONT ST  
BELLEVILLE, ON  
K8N 2Z4  
613-902-0036  
844-4-THILLS  
INFO@THREEHILLS.CO  
WWW.THREEHILLSENGINEERING.COM

PROJECT:  
**1450 MILL LINE RD,  
NORWOOD, ON.**

DWG TITLE:  
**SITE LAYOUT**

PROJECT # **1132405199**

DISCIPLINE: **ARCHITECTURAL - STRUCTURAL**

DESIGNED	J.B.		
DRAWN	J.B.	PROJ. MGR.	J.B.
CHECKED	M.C.V.	CREATED ON	11 MAY 2024

DWG. NO. **A000**



**FRAMING NOTES**

- CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
- WHERE NOT NOTED ON DRAWINGS, SPACING OF FRAMING MEMBERS TO BE TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
- ALL WOOD FRAMING TO BE MIN. No. 2 SPRUCE.
- ANY POINT LOADS ON BEAMS OR LINTELS INDICATED ON PLAN TO BE CONFIRMED BY ENGINEER.
- FLOOR JOIST MANUFACTURER TO PROVIDE FLOOR JOIST FRAMING PLAN AND ALL SPECIFICATIONS FOR REVIEW BY BUILDING OFFICIAL.
- FLOOR JOIST MANUFACTURER TO PROVIDE ALL RATED HANGERS AS REQUIRED.
- ROOF TRUSS MANUFACTURER TO PROVIDE ROOF TRUSS LAYOUT PLAN AND SHOP DRAWINGS WITH STAMP OF STRUCTURAL ENGINEER LICENSED IN ONTARIO.
- ROOF TRUSS MANUFACTURER TO PROVIDE ALL REQUIRED RATED HANGERS.
- ALL WALL LINTELS TO BE (2) 2x10 UNLESS OTHERWISE NOTED ON PLAN.
- WINDOW MANUFACTURER TO PROVIDE ALL ROUGH FRAME OPENING SIZES.
- ALL BEAMS TO BE UNDER FLOOR CONSTRUCTION UNLESS OTHERWISE NOTED.
- PRIME AND PAINT ALL EXPOSED STEEL BEAMS, LINTELS AND COLUMNS.
- STEEL POSTS FROM ALL LEVELS TO BE CARRIED DOWN TO THE FOUNDATION OR TO SUPPORTING BEAMS. SOLID BLOCKING TO BE PROVIDED WHERE REQUIRED.
- ALL INTERIOR PARTITIONS TO BE 2x4 OR 2x6 STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD BOTH SIDES UNLESS OTHERWISE NOTED.
- SUBFLOOR TO BE 3/4" T&G OSB GLUED AND NAILED MIN.
- BACKING REQUIRED IN MAIN BATH AT TUB/SHOWER AND TOILET FOR FUTURE GRAB BAR INSTALLATION AS PER 9.5.2.3. OF THE ONTARIO BUILDING CODE.
- GYPSUM BOARD AT TUB/SHOWER WALLS TO BE WATER RESISTANT.
- PLYWOOD ROOF SHEATHING SHALL BE INSTALLED WITH THE SURFACE GRAIN AT RIGHT ANGLES TO THE ROOF FRAMING. JOINTS PERPENDICULAR TO ROOF RIDGE SHALL BE STAGGERED, WITH EDGES SUPPORTED ON TRUSSES. EDGES PARALLEL TO ROOF RIDGE SHALL BE SUPPORTED BY METAL "H" CLIPS IN EACH TRUSS SPACE.

**MECHANICAL NOTES**

- CONTRACTOR TO PROVIDE HEATING AND MECHANICAL VENTILATION SPECIFICATIONS.
- MECHANICAL VENTILATION REQUIRED TO CONFORM TO OBC 9.32. WITH ALL MECHANICAL VENTS TO EXHAUST OUTSIDE.
- SMOKE ALARMS TO BE INSTALLED AS PER OBC 9.10.19.1. AND HAVE A VISUAL SIGNALING COMPONENT CONFORMING TO 18.5.3. OF NFPA 72.
- THE SOUND PATTERN OF SMOKE ALARMS SHALL MEET THE TEMPORAL PATTERNS OF ALARM SIGNALS OR BE A COMBINATION OF TEMPORAL PATTERN AND VOICE RELAY. 9.10.19.2.
- LOCATION FOR SMOKE /CO2/STROBE LIGHT ALARM WILL BE INSTALLED WITH PERMANENT CONNECTIONS TO AN ELECTRICAL CIRCUIT 9.10.19.4. SMOKE ALARMS ARE TO BE LOCATED WITHIN ALL SLEEPING UNITS AND IN THE CORRIDOR BETWEEN SLEEPING UNITS, ONE SMOKE ALARM ON EACH FLOOR INCLUDING BASEMENT 9.10.19.3.
- CARBON MONOXIDE DETECTORS TO BE INSTALLED AS PER OBC 9.33.4.
- ALL ATTIC SPACES TO BE PROVIDED WITH UNOBSTRUCTED VENT AREA NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA.
- ROOF TO BE EQUALLY VENTILATED BETWEEN SOFFIT AND TOP OF ROOF SPACE WITH VENTED SOFFITS, ROOF OR GABLE VENTS.
- LOOSE CEILING INSULATION TO BE BLOCKED AT EAVES WITH BATT INSULATION AND ATTIC VENTS.
- ALL WALLS, CEILINGS, AND FLOORS SEPARATING HEATED SPACE FROM UNHEATED SPACE SHALL BE INSULATED.
- ALL POLY VAPOUR/MOISTURE BARRIER TO CONFORM TO OBC 9.25.3. OR 9.25.4. AND SB-12. CAULK AND SEAL ALL JOINTS WITH 4" MIN. LAP.
- AN AIR BARRIER SYSTEM CONFORMING TO OBC 9.25.3. TO BE INSTALLED BETWEEN GARAGE AND THE REMAINDER OF THE BUILDING PROVIDING AN EFFECTIVE BARRIER TO GAS AND EXHAUST FUMES.
- ALL PLUMBING AND OTHER PENETRATIONS THROUGH GARAGE AND LIVING SPACE SHALL BE CAULKED.
- ALL DOORS BETWEEN GARAGE AND HOUSE TO BE PROVIDED WITH SELF CLOSURES AND AIR TIGHT WEATHERSTRIPPING.
- ALL DOORS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE A THERMAL RESISTANCE OF NOT LESS THAN R4 (RSI 0.7).
- CAULK ALL PERIMETERS, INSIDE AND OUTSIDE OF ALL EXTERIOR DOORS AND WINDOWS.
- FLASHING TO BE INSTALLED AT EVERY HORIZONTAL JUNCTION OF CLADDING, EVERY HORIZONTAL OFFSET IN THE CLADDING AND EVERY HORIZONTAL LINE WHERE THE CLADDING SUBSTRATE CHANGES AND CONDENSATION CAN OCCUR OR THE SUBSTRATE MAY COMPROMISE THE DRAINAGE OF MOISTURE.
- PROVIDE VALLEY FLASHING AT ROOF PITCH INTERSECTIONS AS PER OBC 9.26.4.3.
- PROVIDE FLASHING AT ALL INTERSECTIONS OF ROOF AND WALLS AS PER 9.26.4.
- DWHR TO BE INSTALLED ON DRAIN LINE FROM SHOWER IF INSTALLATION IS POSSIBLE.
- ELECTRICAL VEHICLE CHARGING SYSTEM REQUIRES 200A PANEL MIN. AND 27mm CONDUIT TO ALLOW FOR FUTURE CABLE AND A 4-11/16" TRADE SIZE ELECTRICAL OUTLET BOX INSTALLED IN THE GARAGE OR ADJACENT TO THE DRIVEWAY.
- VENTING REQUIREMENTS AND EQUIPMENT FOR WOOD BURNING FIREPLACE AND CHIMNEY SHALL CONFORM TO SECTION 6.3 OF DIV. B OF THE OBC.
- UNHEATED CRAWLSPACE TO BE MECHANICALLY VENTED.
- DRAIN WATER HEAT RECOVERY UNIT TO BE INSTALLED MEETING CSA B55.1-12 MINIMUM EFFICIENCY TO BE 42% DWHR UNIT TO RECEIVE DRAIN WATER FROM AT LEAST 2 SHOWERS WHERE THERE ARE 2 OR MORE SHOWERS.
- MIXING VALVE TO BE LOCATED OFF THE HOT WATER TANK TO REGULATE HOT WATER TEMPERATURE (TYPICAL IN ALL UNITS).
- FURNACE, HRV, HOT WATER TANK, SUMP PIT LOCATION IN MECHANICAL ROOM TO BE ADJUSTED BASED ON MECHANICAL DESIGN AND ON SITE CONDITIONS.

**CONCRETE & FOUNDATION NOTES**

- FOUNDATION WALLS TO BE REINFORCED POURED CONCRETE, UNLESS OTHERWISE NOTED. SEE DRAWINGS FOR TYPE AND THICKNESS.
- FOUNDATION WALLS TO EXTEND A MINIMUM 8" ABOVE GRADE FOR EXTERIOR STUCCO WALLS.
- CONCRETE FOOTINGS SHALL BEAR UNDISTURBED OR COMPACTED SOIL TO A MINIMUM 4" (1220mm) DEPTH BELOW FROST PENETRATION.
- GRADE LINES SHOWN ON THESE PLANS ARE ASSUMED.
- WHERE EXTERIOR GRADE IS HIGHER THAN THE GROUND LEVEL INSIDE, THE EXTERIOR SURFACE OF FOUNDATION WALLS BELOW GRADE SHALL BE DAMPPROOFED. WHERE HYDROSTATIC PRESSURE OCCURS, THE WALLS SHALL BE WATERPROOFED.
- PROVIDE A DRAINAGE LAYER SYSTEM TO THE EXTERIOR SURFACE OF FOUNDATION WALLS BELOW GRADE WHERE DAMPPROOFING OR WATERPROOFING IS REQUIRED.

**POURED CONCRETE:**

- CONCRETE SHALL BE DESIGNED, MIXED, PLACED, CURED AND TESTED IN ACCORDANCE WITH CAN/CSA-A438-00, "CONCRETE CONSTRUCTION FOR HOUSING AND SMALL BUILDINGS".
- THE COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE AFTER 28 DAYS SHALL NOT BE LESS THAN:
  - 32MPa FOR GARAGE FLOORS, CARPORT FLOORS AND ALL EXTERIOR FLATWORK.
  - 20MPa FOR INTERIOR FLOORS OTHER THAN THOSE FOR GARAGES AND CARPORTS, AND FOUNDATION WALLS AND FOOTINGS.
  - 15MPa FOR ALL OTHER APPLICATIONS.

**FOUNDATION INFORMATION**

- ALL SONO TUBES, FLOORING AND BIG FOOT FOOTINGS TO BE BRACED TO ENSURE THEY ARE LEVEL/PLUM. THE ELEVATION OF ALL THE SONO TUBES ARE TO BE THE SAME, UNLESS FINISHED GRADES REQUIRES THERE TO BE DIFFERENCES. TOPS OF THE SONO TUBE TO HAVE A PROPER FINISH. SONO TUBES TO BE LOCATED ACCURATELY, SO THE POSTS ARE IN CONTACT WITH SONO TUBES WITHIN THE CENTER LINE OF THE TUBES.
- NOTE: ALL INTERIOR STRIP FOOTINGS ARE TO BE 6" X 16" UNLESS OTHERWISE NOTED

**GENERAL NOTES**

- GUARDS ARE TO BE DESIGNED TO MEET THE REQUIREMENTS OF THE ONTARIO BUILDING CODE SUPPLEMENT SB-7.
- ALL WATER CLOSETS ARE TO HAVE A MAXIMUM OF 4.8 LITERS PER FLUSH.
- PROVIDE AND INSTALL AT LEAST ONE SMOKE ALARM ON EACH FLOOR LEVEL AS INDICATED IN ADDITION TO ONE SMOKE ALARM WITHIN EACH SLEEPING UNIT. 9.10.16.1. TO 9.10.16.3.
- SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL BE WIRED SO THAT ALL ALARMS WILL SOUND.
- ALL ALARMS SHALL HAVE VISUAL SIGNALS AS WELL AS AUDITORY SIGNALS.
- ALL DOORS TO BE 32" WIDE UNLESS OTHERWISE NOTED.

**GUARDS, HANDRAILS AND STAIRS**

- GUARDS SHALL BE PROVIDED WHEN THE DIFFERENCE IN ELEVATION IS MORE THAN 24" BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE, ALL INTERIOR STAIRS MORE THAN 2 RISERS, LANDINGS OR FLOOR LEVEL AROUND THE STAIRWELL THAT IS NOT PROTECTED BY A WALL.
- ALL GUARDS ARE A MINIMUM 42" HIGH, EXCEPT FOR WHERE THE EXTERIOR WALKING SURFACE AND THE ADJACENT GROUND LEVEL IS NOT GREATER THAN 5' 11" OR WHERE GUARDS ARE WITHIN THE DWELLING UNIT, MAY BE A MINIMUM 36" HIGH.
- OPENINGS BETWEEN GUARD PICKETS MUST BE SPACED LESS THAN 4".
- ALL GUARDS TO BE DESIGNED ACCORDING TO SUPPLEMENT SB-7 GUIDELINES.
- HANDRAIL REQUIRED ON ONE SIDE OF STAIR ONLY, TO BE CONTINUOUS THROUGHOUT THE LENGTH OF STAIR.
- A CLEARANCE OF NOT LESS THAN 2" SHALL BE PROVIDED BETWEEN HANDRAIL AND THE SURFACE BEHIND IT.
- HANDRAIL SHALL NOT PROJECT MORE THAN 4" INTO REQUIRED MINIMUM WIDTH OF STAIR.
- STAIR TO BE SECURELY FASTENED AT TOP AND BOTTOM. WHERE WALL IS PROVIDED ALONG SIDE OF STRINGER, FASTEN STRINGER TO WALL STUDS.
- RISERS AND TREADS SHALL BE UNIFORM IN ANY ONE FLIGHT, WITH A MAXIMUM TOLERANCE OF 1/4" BETWEEN ADJACENT TREADS OR LANDINGS, AND A MAXIMUM OF 1/4" BETWEEN THE DEEPEST AND SHALLOWEST TREADS IN A FLIGHT.
- MAXIMUM AND MINIMUM STAIR RISE, RUN AND TREADS TO COMPLY WITH 9.8.4.1. OF THE OBC. SEE TABLE.

STAIR TYPE	RECTANGULAR TREADS			
	MAX. RUN	MIN. RUN	MAX. RISE	MIN. RISE
PRIVATE	14"	10"	7 3/4"	5"



LEGEND:

2012

MMA Supplementary Standard SB-12



e4

Table 3.1.1.2.C (IP)  
ZONE 1 - Compliance Packages for Electric Space Heating  
Forming Part of Sentence 3.1.1.2.(3)

Component	Thermal Values <sup>(8)</sup>	Compliance Package			
		C1	C2	C3	C4
Ceiling with Attic Space	Min. Nominal R <sup>(1)</sup>	60 + HH	60 + HH	50	50
	Max. U <sup>(2)</sup>	0.016	0.016	0.020	0.020
	Min. Effective R <sup>(2)</sup>	59.90	59.90	49.23	49.23
Ceiling Without Attic Space	Min. Nominal R <sup>(1)</sup>	31	31	31	31
	Max. U <sup>(2)</sup>	0.036	0.036	0.036	0.036
	Min. Effective R <sup>(2)</sup>	27.65	27.65	27.65	27.65
Exposed Floor	Min. Nominal R <sup>(1)</sup>	31	31	35	35
	Max. U <sup>(2)</sup>	0.034	0.034	0.031	0.031
	Min. Effective R <sup>(2)</sup>	29.80	29.80	32.02	32.02
Walls Above Grade	Min. Nominal R <sup>(1)</sup>	19 + 10 ci	22 + 10 ci	22 + 10 ci	22 + 7.5 ci
	Max. U <sup>(3)</sup>	0.040	0.038	0.038	0.042
	Min. Effective R <sup>(3)</sup>	25.32	26.40	26.40	23.90
Basement Walls <sup>(6)</sup>	Min. Nominal R <sup>(1)</sup>	20 + 8 ci	20 ci	20 ci	20 ci
	Max. U <sup>(4)</sup>	0.044	0.047	0.047	0.047
	Min. Effective R <sup>(4)</sup>	22.71	21.12	21.12	21.12
Below Grade Slab Entire Surface > 600 mm Below Grade	Min. Nominal R <sup>(1)</sup>	7.5	—	—	—
	Max. U <sup>(4)</sup>	0.116	—	—	—
	Min. Effective R <sup>(4)</sup>	8.63	—	—	—
Heated Slab or Slab ≤ 600 mm Below Grade	Min. Nominal R <sup>(1)</sup>	10	10	10	10
	Max. U <sup>(4)</sup>	0.090	0.090	0.090	0.090
	Min. Effective R <sup>(4)</sup>	11.13	11.13	11.13	11.13
Edge of Below Grade Slab ≤ 600 mm Below Grade	Min. Nominal R <sup>(1)</sup>	10	10	10	10
	Max. U <sup>(5)</sup>	0.25	0.21	0.21	0.28
	Energy Rating	29	34	34	25
Skylights	Max. U <sup>(5)</sup>	0.49	0.49	0.49	0.49
Space Heating Equipment	Min.	—	—	—	ASHP: 7.1 HSPF
HRV	Min. SRE	81%	75%	81%	55%
Domestic Water Heater <sup>(7)</sup> Column 1	Min. EF	—	—	—	—
	Column 2	3	4	5	6

**Notes to Table 3.1.1.2.C (IP):**

- The following definitions applies: HH = 10 inch high heel
- The values listed are minimum Nominal R values for the thermal insulation component only.
  - U-Value and effective R value shall include entire ceiling assembly components, from interior air film to vented space air film above insulation.
  - U-Value and effective R value shall include entire exposed floor or above grade wall assembly components, from interior air film to exterior air film.
  - U-Value and effective R value shall include entire basement wall or slab assembly components and interior air film.
  - U-Value is the overall coefficient of heat transfer for a window assembly, sliding glass door assembly or skylight assembly expressed in Btu/(h·ft²·F).
  - In the case of basement wall assemblies, where R20 ci is required R12 + 10 ci is permitted to be used or vice versa; or where R12 + 5 ci is required, R15 ci is permitted to be used or vice versa.
  - If an EF of a water tank is not indicated in a compliance package, there is no EF requirement for water tank for that specific compliance package.
  - Nominal and effective R values are expressed in (h·ft²·F)/Btu. U-Values are expressed in Btu/(h·ft²·F).

NO.	DATE	REVISION	APPR.
1	06/28/2024	ISSUED FOR REVIEW	M.C.V.



PROJECT:  
**1450 MILL LINE RD,  
NORWOOD, ON.**

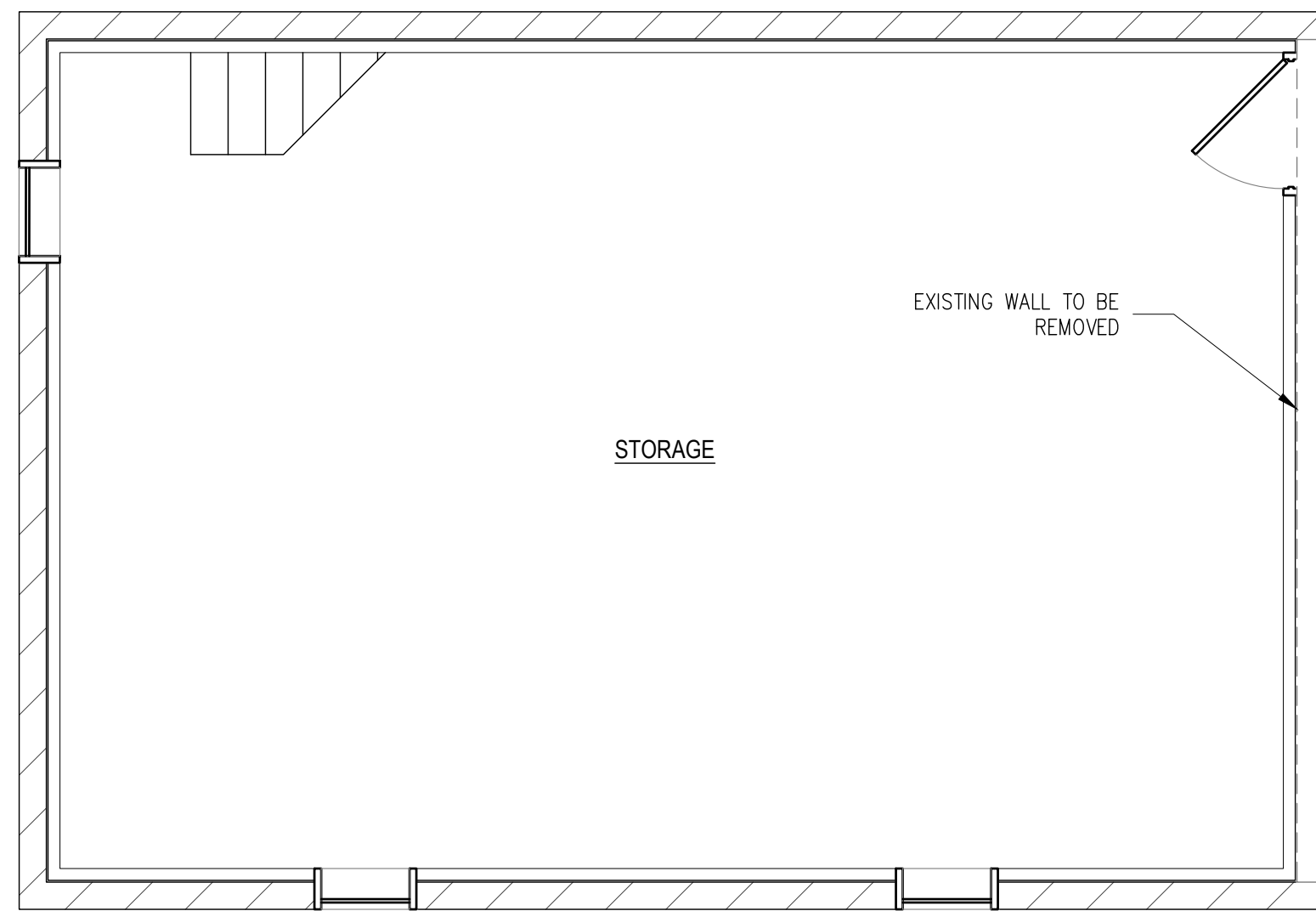
DWG TITLE:  
**SITE LAYOUT**

PROJECT #	1132405199		
DISCIPLINE:	ARCHITECTURAL - STRUCTURAL		
DESIGNED	J.B.		
DRAWN	J.B.	PROJ. MGR.	J.B.
CHECKED	M.C.V.	CREATED ON	11 MAY 2024
DWG. NO.	<b>A001</b>		

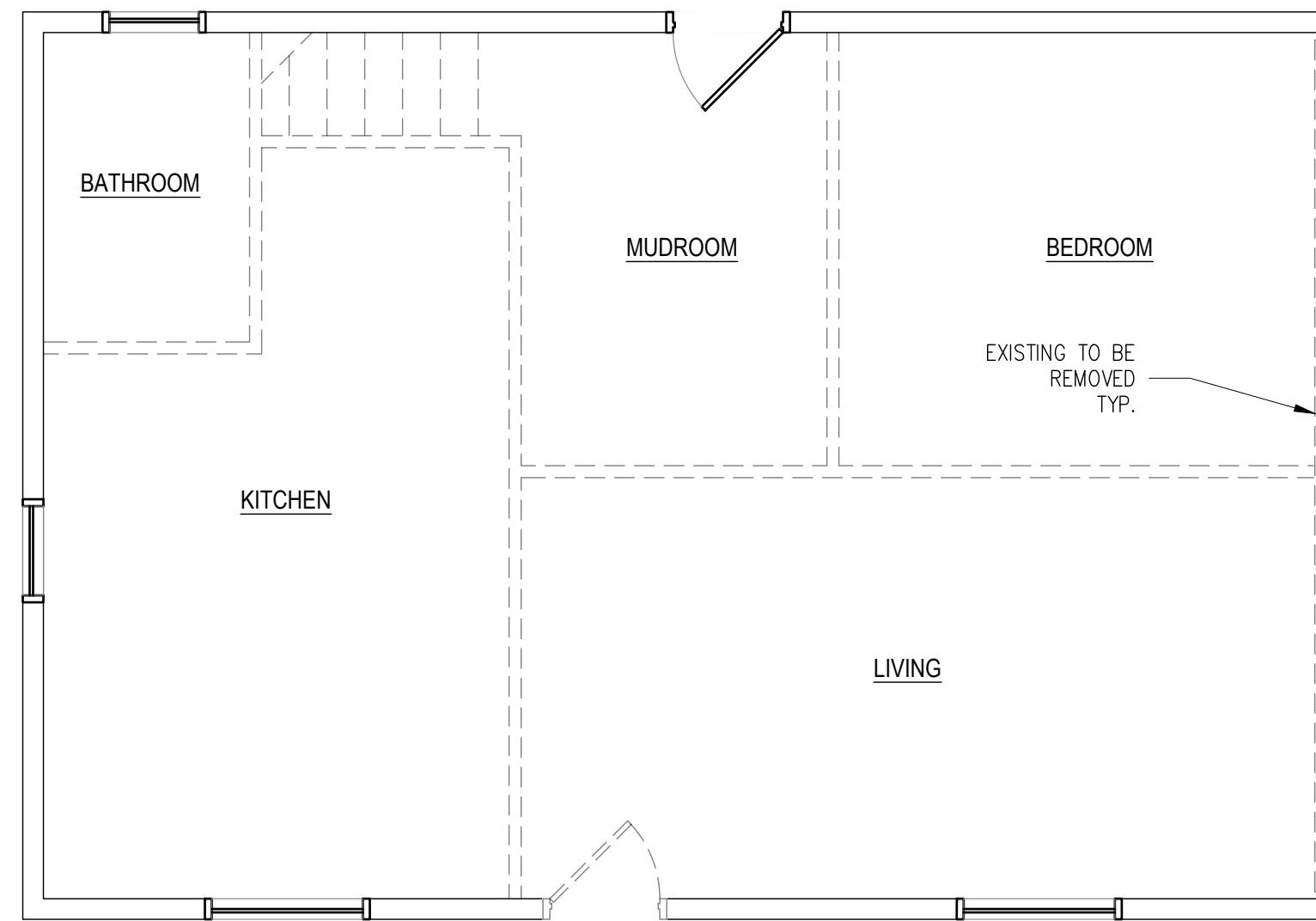




LEGEND:



**1** EXISTING MAIN FLOOR PLAN  
A100 SCALE: 1/4" TO 1'-0"



**2** EXISTING SECOND FLOOR PLAN  
A100 SCALE: 1/4" TO 1'-0"

NO.	DATE	REVISION	APPR.
1	06/28/2024	ISSUED FOR REVIEW	M.C.V.



**THREEHILLS**  
ENGINEERING LTD

233 FRONT ST  
BELLEVILLE, ON  
K8N 2Z4

613-902-0036  
844-4-THILLS  
INFO@THREEHILLS.CO  
WWW.THREEHILLSENGINEERING.COM

PROJECT:  
**1450 MILL LINE RD,  
NORWOOD, ON.**

DWG TITLE:  
**SITE LAYOUT**

PROJECT # **1132405199**

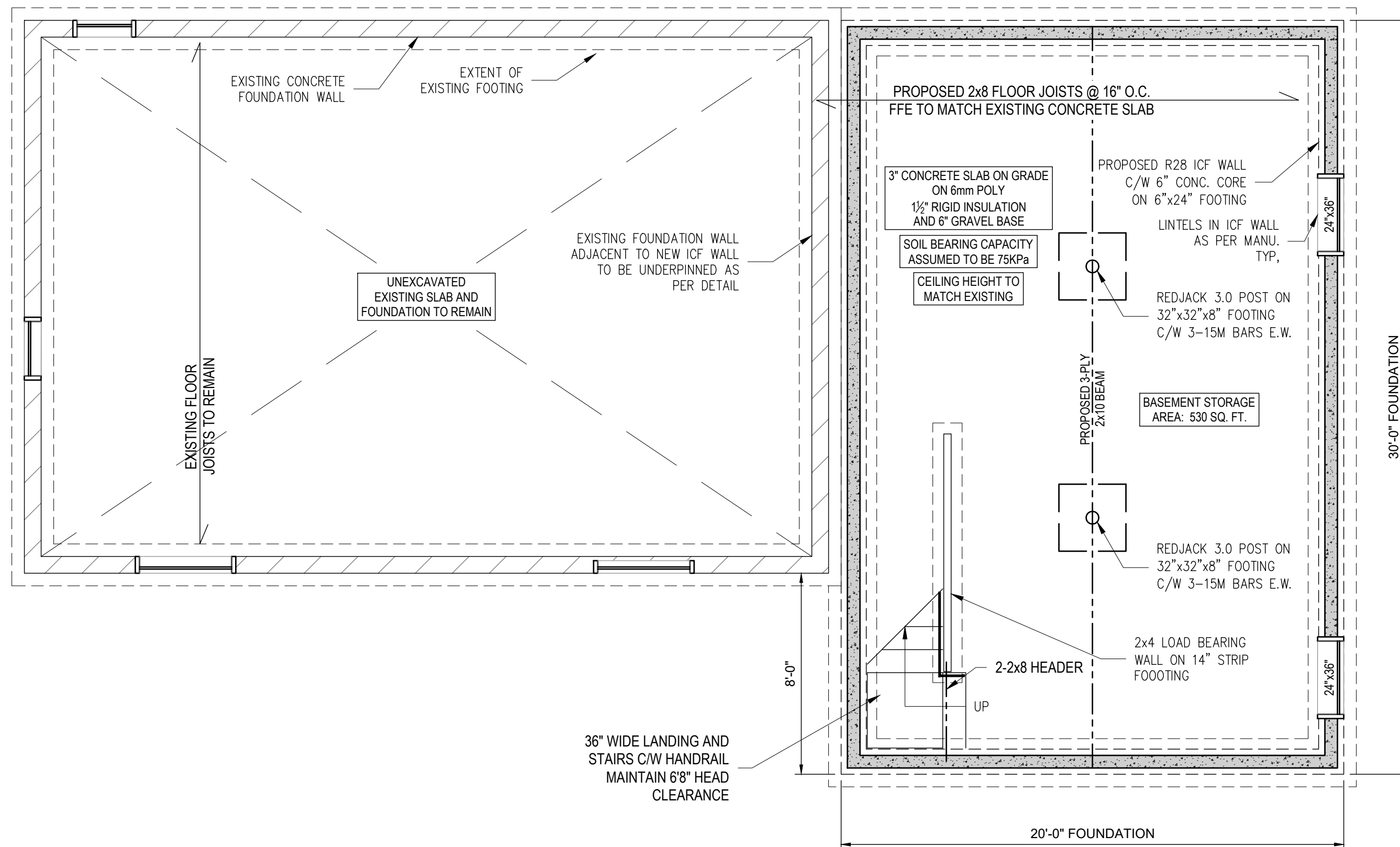
DISCIPLINE: **ARCHITECTURAL - STRUCTURAL**

DESIGNED	J.B.		
DRAWN	J.B.	PROJ. MGR.	J.B.
CHECKED	M.C.V.	CREATED ON	11 MAY 2024

DWG. NO. **A100**



LEGEND:



**1**  
**A101** PROPOSED FOUNDATION PLAN  
SCALE: 1/4" TO 1'-0"

NO.	DATE	REVISION	APPR.
1	06/28/2024	ISSUED FOR REVIEW	M.C.V.



**THREEHILLS**  
ENGINEERING LTD

233 FRONT ST  
BELLEVILLE, ON  
K8V 2Z4

613-902-0036  
844-4-THREHILLS  
INFO@THREEHILLS.CO  
WWW.THREEHILLSENGINEERING.COM

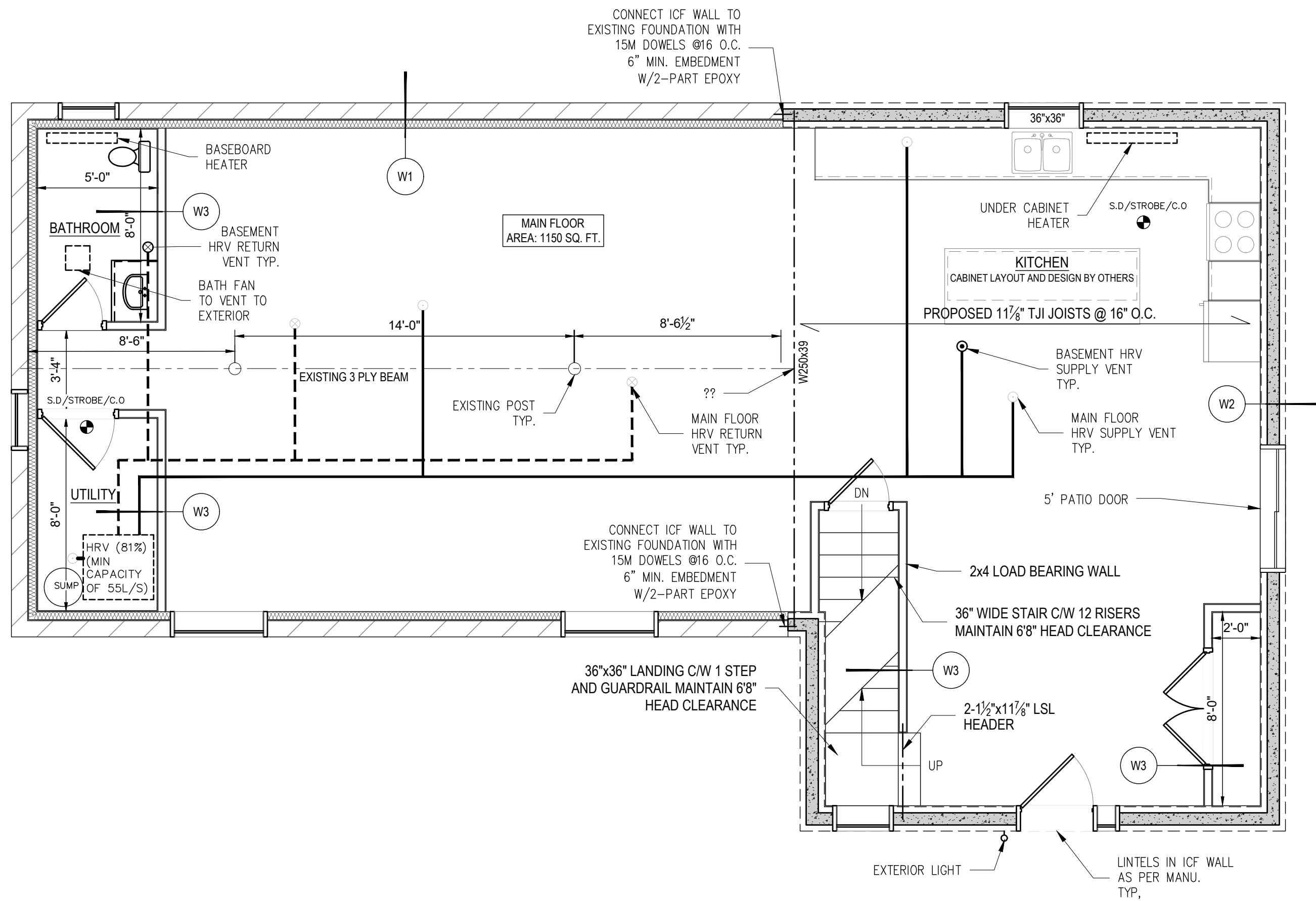
PROJECT:  
**1450 MILL LINE RD,  
NORWOOD, ON.**

DWG TITLE:  
**SITE LAYOUT**

PROJECT #	1132405199
DISCIPLINE:	ARCHITECTURAL - STRUCTURAL
DESIGNED	J.B.
DRAWN	J.B. PROJ. MGR. J.B.
CHECKED	M.C.V. CREATED ON 11 MAY 2024
DWG. NO.	<b>A101</b>



LEGEND:



8" CONC. FOUNDATION  
2"x4" WOOD STUDS @16" O.C.  
C/W INSULATION  
AIR BARRIER  
1/2" DRYWALL

**W1 WALL ASSEMBLY**

SIDING TO MATCH EXISTING  
R29 ICF WALL C/W 6" CONC. CORE  
1/2" DRYWALL

**W2 WALL ASSEMBLY**

1/2" DRYWALL  
2x4 STUDS @ 16" O.C.  
1/2" DRYWALL

**W3 WALL ASSEMBLY**

1 PROPOSED MAIN FLOOR PLAN  
A102 SCALE: 1/4" to 1'-0"

NO.	DATE	REVISION	APPR.
1	06/28/2024	ISSUED FOR REVIEW	M.C.V.



**THREEHILLS**  
ENGINEERING LTD

233 FRONT ST  
BELLEVILLE, ON  
K8V 2Z4

613-902-0036  
844-4-3HILLS

INFO@THREEHILLS.CO  
WWW.THREEHILLSENGINEERING.COM

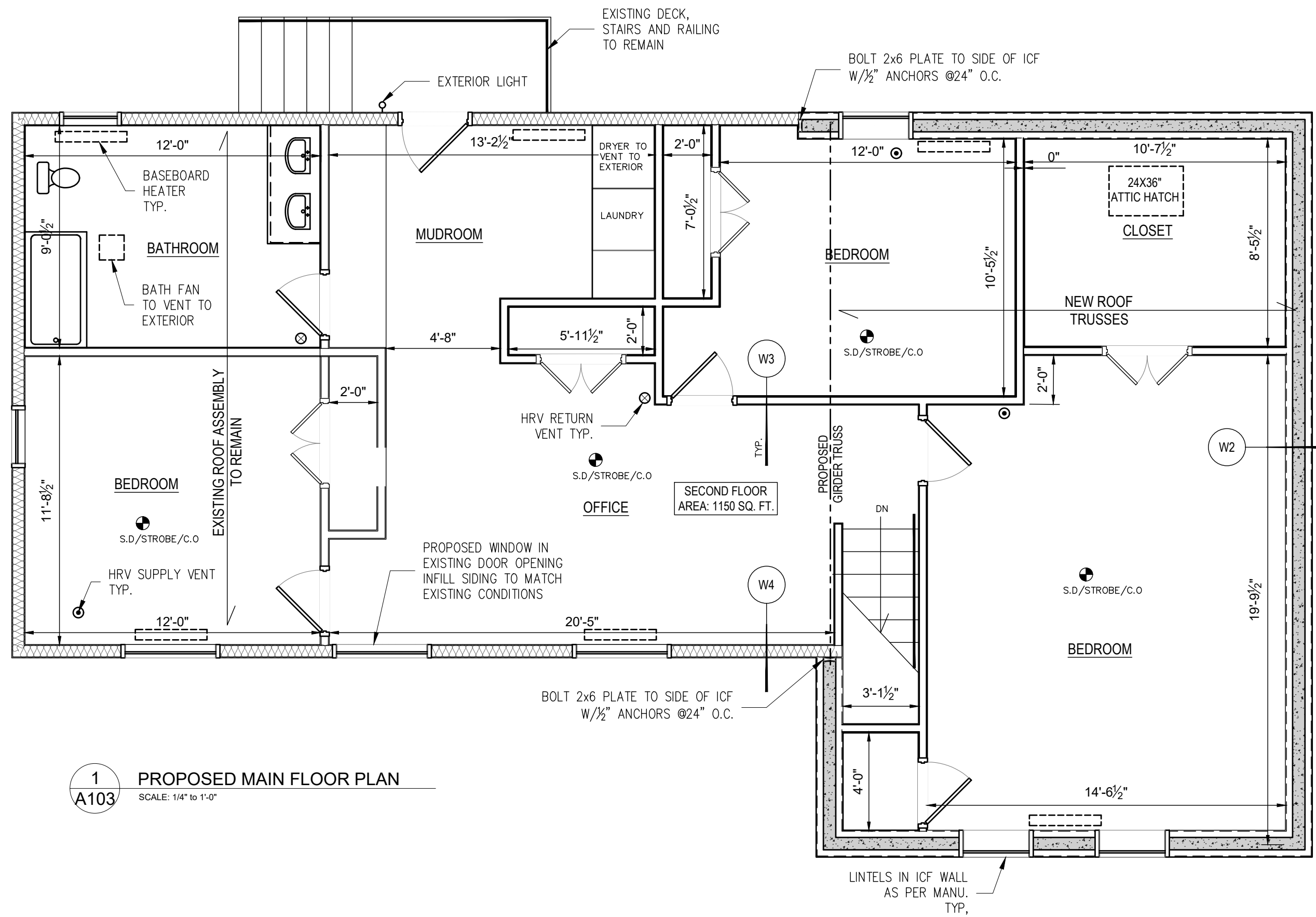
PROJECT:  
**1450 MILL LINE RD,  
NORWOOD, ON.**

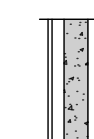
DWG TITLE:  
**SITE LAYOUT**

PROJECT #	1132405199
DISCIPLINE:	ARCHITECTURAL - STRUCTURAL
DESIGNED	J.B.
DRAWN	J.B.
CHECKED	M.C.V.
DWG. NO.	A102

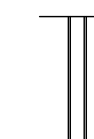


LEGEND:

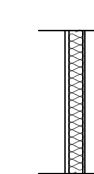



 SIDING TO MATCH EXISTING  
 R29 ICF WALL C/W 6" CONC. CORE  
 1/2" DRYWALL

**W2 WALL ASSEMBLY**


 1/2" DRYWALL  
 2x4 STUDS @ 16" O.C.  
 1/2" DRYWALL

**W3 WALL ASSEMBLY**


 EXISTING SIDING  
 EXISTING STUDS @16" O.C.  
 C/W INSULATION  
 AIR BARRIER  
 1/2" DRYWALL

**W4 WALL ASSEMBLY**

**1**  
**A103** PROPOSED MAIN FLOOR PLAN  
 SCALE: 1/4" TO 1'-0"

NO.	DATE	REVISION	APPR.
1	06/28/2024	ISSUED FOR REVIEW	M.C.V.




**THREEHILLS**  
 ENGINEERING LTD  
 233 FRONT ST  
 BELLEVILLE, ON  
 K8V 2Z4  
 613-902-0036  
 844-4-3HILLS  
 INFO@THREEHILLS.CO  
 WWW.THREEHILLSENGINEERING.COM

PROJECT:  
**1450 MILL LINE RD,  
 NORWOOD, ON.**

DWG TITLE:  
**SITE LAYOUT**

PROJECT # 1132405199

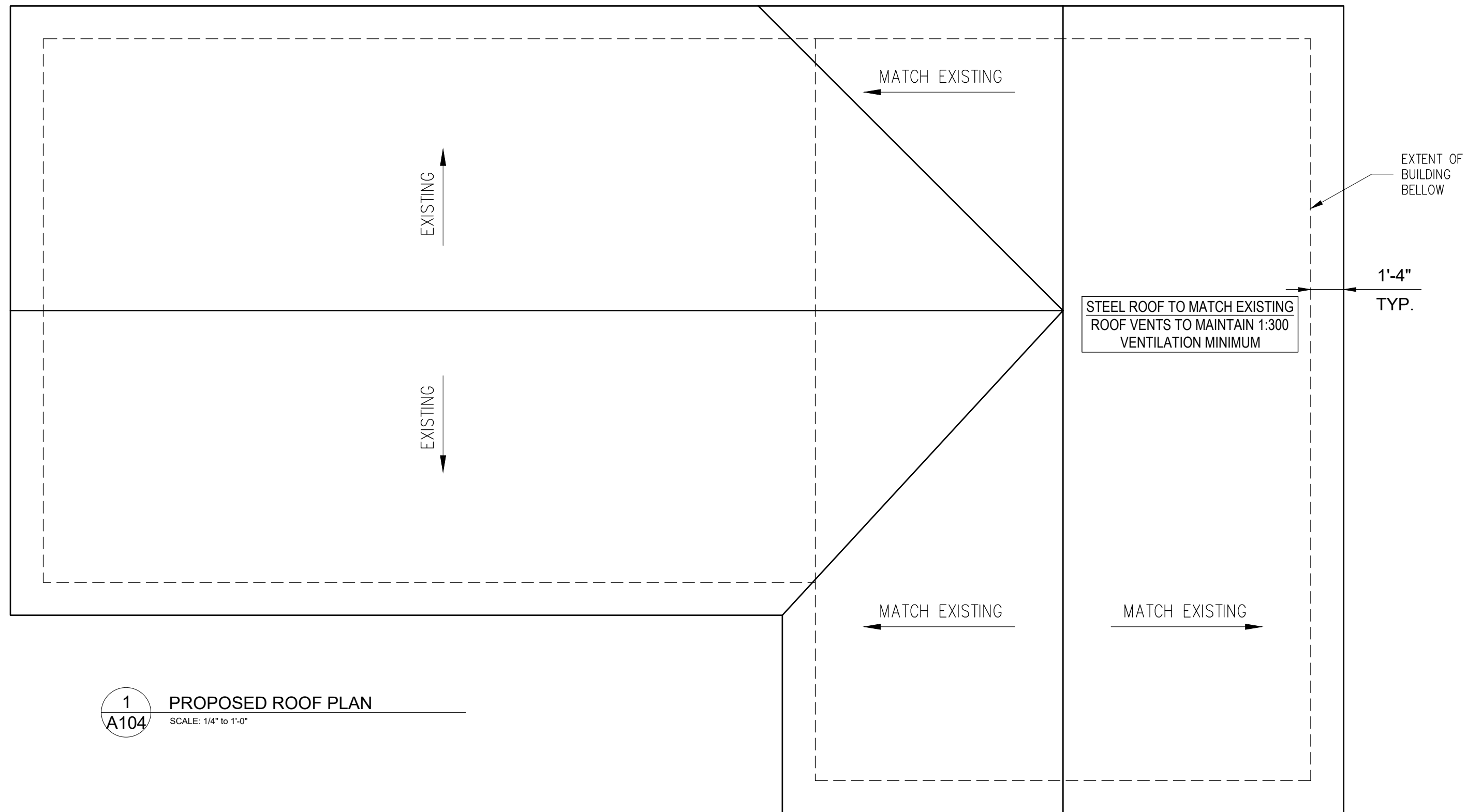
DISCIPLINE: ARCHITECTURAL - STRUCTURAL

DESIGNED	J.B.	PROJ. MGR.	J.B.
DRAWN	J.B.	CHECKED	M.C.V.
CREATED ON	11 MAY 2024		

**A103**



LEGEND:



**1**  
**A104** PROPOSED ROOF PLAN  
SCALE: 1/4" TO 1'-0"

NO.	DATE	REVISION	APPR.
1	06/28/2024	ISSUED FOR REVIEW	M.C.V.



**THREEHILLS**  
ENGINEERING LTD

233 FRONT ST  
BELLEVILLE, ON  
K8N 2Z4

613-902-0036  
844-4-3HILLS  
INFO@THREEHILLS.CO  
WWW.THREEHILLSENGINEERING.COM

PROJECT:  
**1450 MILL LINE RD,  
NORWOOD, ON.**

DWG TITLE:  
**SITE LAYOUT**

PROJECT # **1132405199**

DISCIPLINE: **ARCHITECTURAL - STRUCTURAL**

DESIGNED	J.B.		
DRAWN	J.B.	PROJ. MGR.	J.B.
CHECKED	M.C.V.	CREATED ON	11 MAY 2024

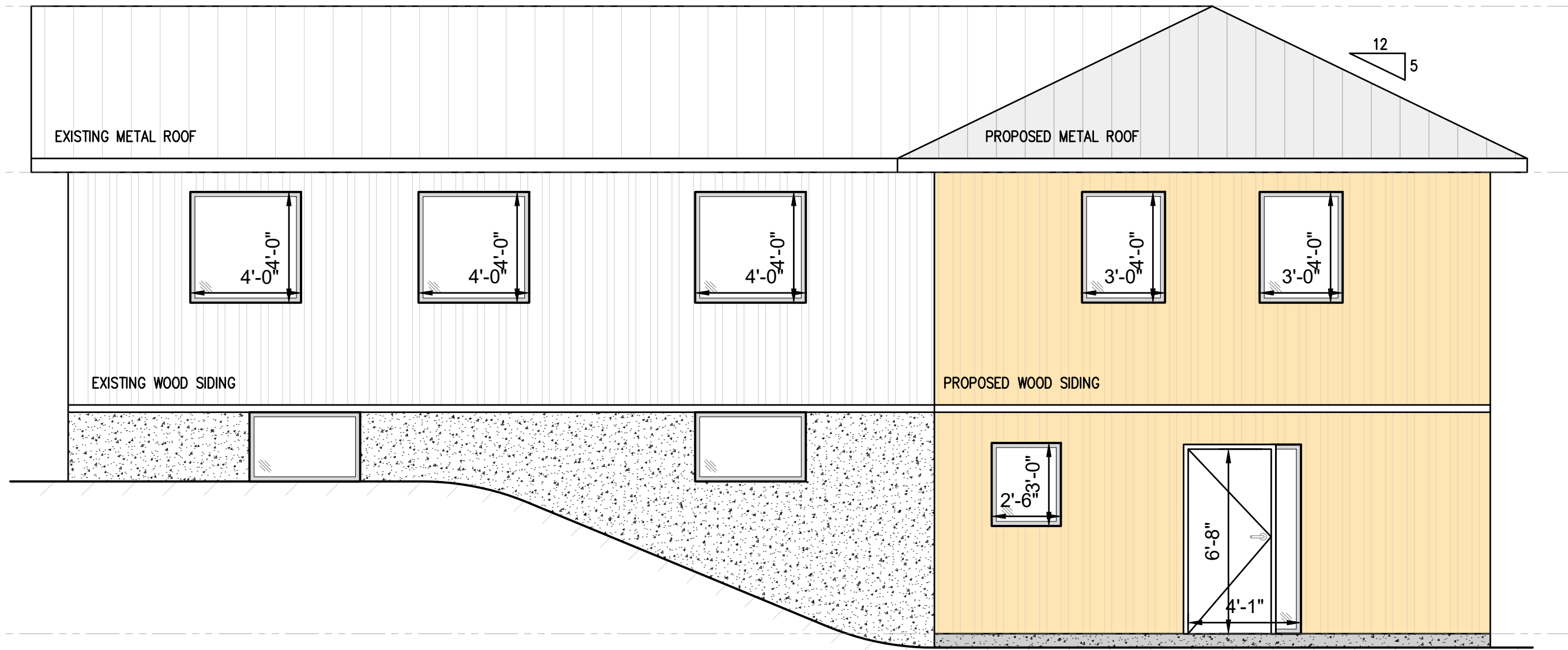
DWG. NO. **A104**



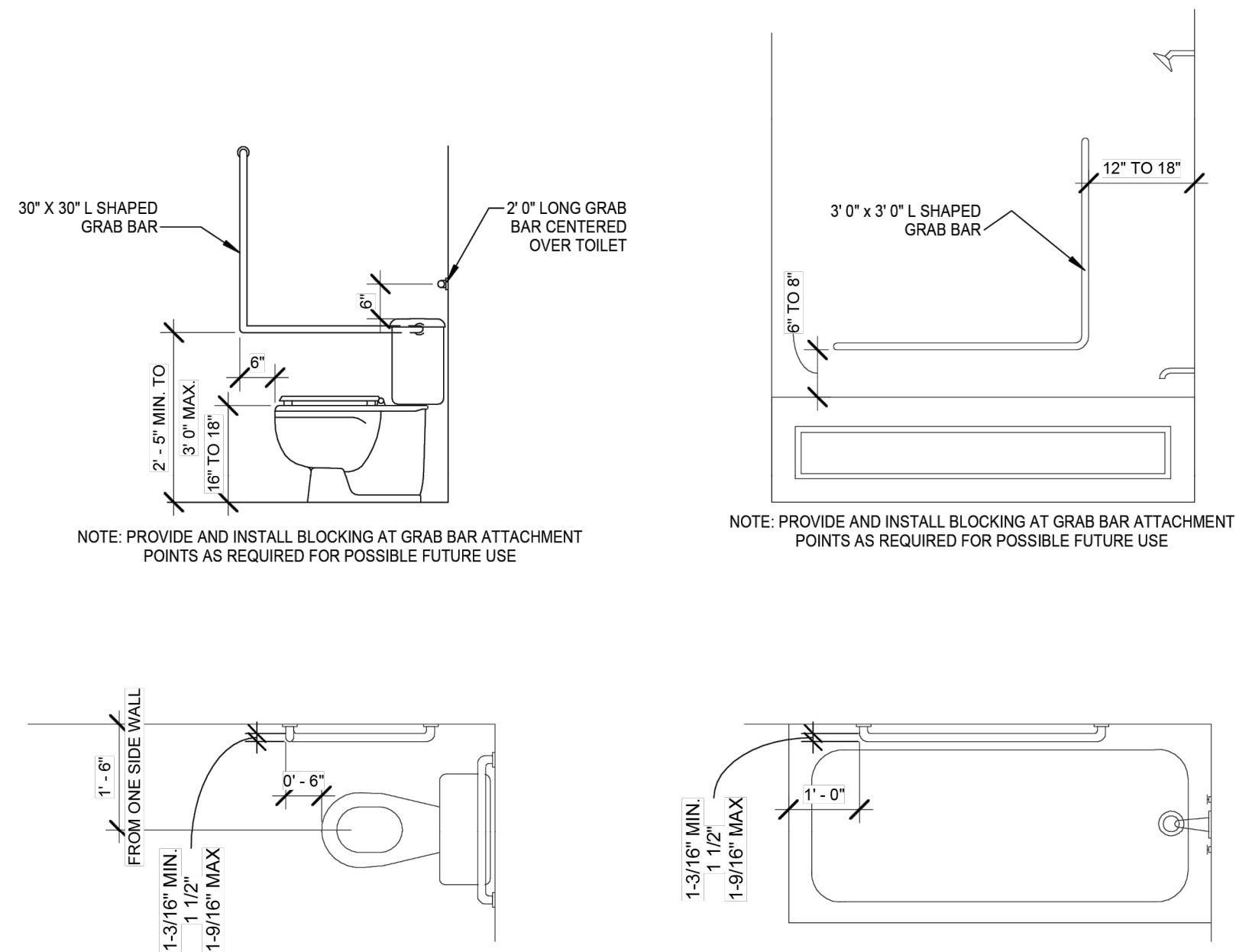
T/PEAK  
EL: ±22'-8"

U/EAVE  
EL: ±16'-8"

T/SLAB  
EL: ±0'-0"



**1** PROPOSED FRONT ELEVATION  
A200 SCALE: 1/4" to 1'-0"



**2** TYPICAL RESIDENTIAL GRAB BAR DETAILS  
A200 SCALE: NTS



LEGEND:

NO.	DATE	REVISION	APPR.
1	06/28/2024	ISSUED FOR REVIEW	M.C.V.



**THREEHILLS**  
ENGINEERING LTD

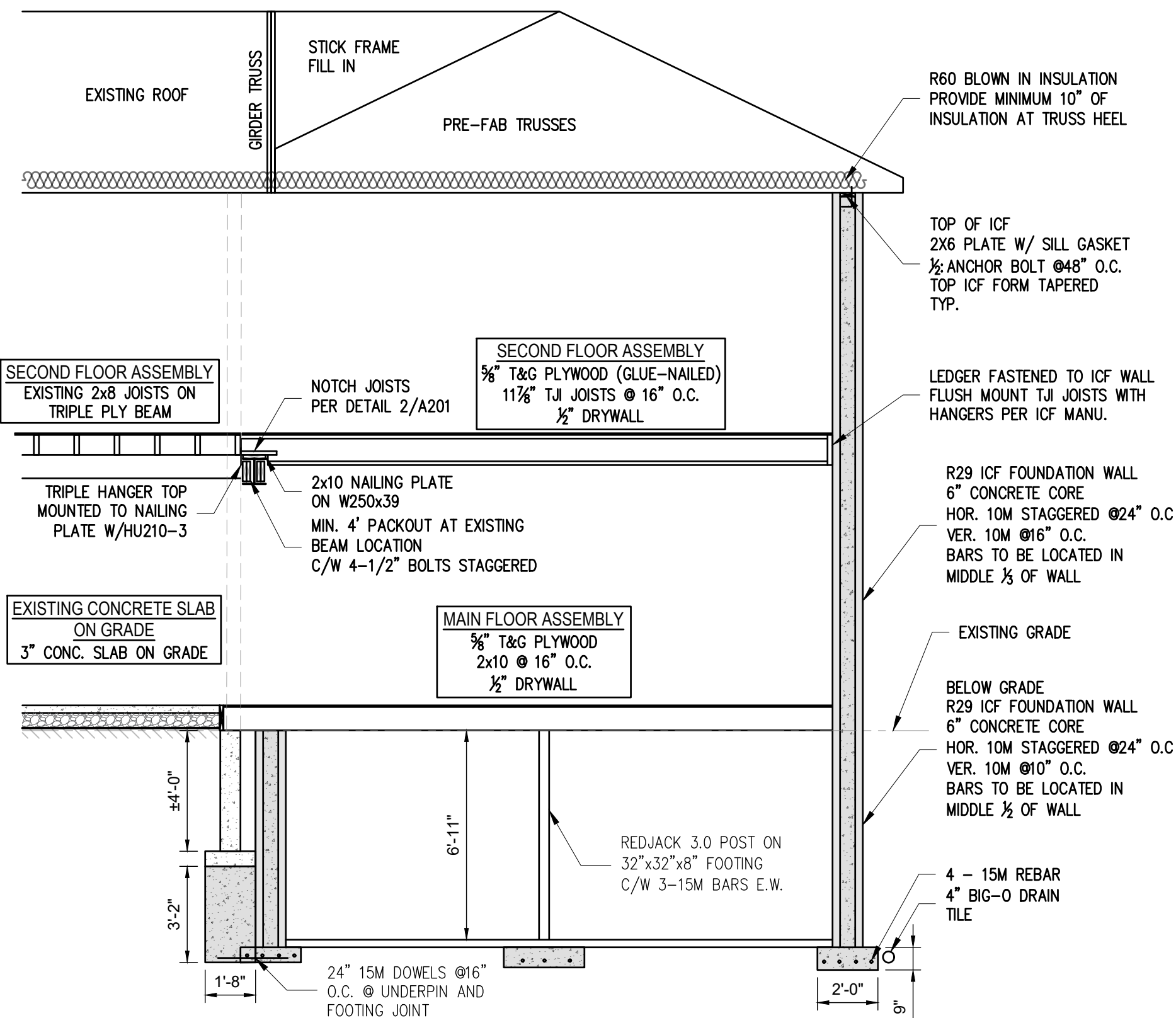
233 FRONT ST  
BELLEVILLE, ON  
K8N 2Z4

613-902-0036  
844-4-3HILLS  
INFO@THREEHILLS.CO  
WWW.THREEHILLSENGINEERING.COM

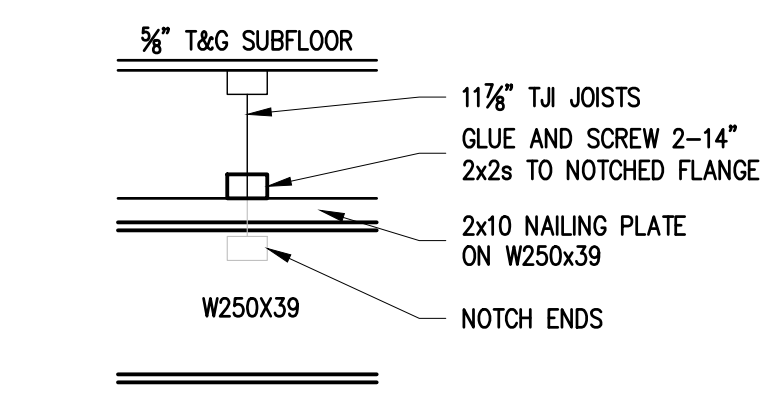
PROJECT:  
**1450 MILL LINE RD,  
NORWOOD, ON.**

DWG TITLE:  
**SITE LAYOUT**

PROJECT #	1132405199		
DISCIPLINE:	ARCHITECTURAL - STRUCTURAL		
DESIGNED	J.B.		
DRAWN	J.B.	PROJ. MGR.	J.B.
CHECKED	M.C.V.	CREATED ON	11 MAY 2024
DWG. NO.	<b>A200</b>		



**1** PROPOSED SECTION  
A201 SCALE: 1/4" to 1'-0"



**2** NOTCH DETAIL  
A201 SCALE: 1" to 1'-0"



LEGEND:

NO.	DATE	REVISION	APPR.
1	06/28/2024	ISSUED FOR REVIEW	M.C.V.



**THREEHILLS**  
ENGINEERING LTD

233 FRONT ST  
BELLEVILLE, ON  
K8N 2Z4

613-902-0036  
844-4-3HILLS

INFO@THREEHILLS.CO  
WWW.THREEHILLSENGINEERING.COM

PROJECT:  
**1450 MILL LINE RD,  
NORWOOD, ON.**

DWG TITLE:  
**SITE LAYOUT**

PROJECT #	1132405199
DISCIPLINE:	ARCHITECTURAL - STRUCTURAL
DESIGNED	J.B.
DRAWN	J.B.
CHECKED	M.C.V.
DWG. NO.	<b>A201</b>



# Appendix B Site Photolog



Photo 1. Looking south the existing dwelling and the area where the addition is proposed.



Photo 2. A view of the Cattail Marsh present in the property and adjacent land to the west.





Photo 3. A view of the Forest present on the west side of the property.



Photo 4. A view of the Wetland Swamp located north of the property on adjacent land.





Photo 5. A view of the Meadow vegetation covering most of the property.



Photo 6. A view of the vegetation present on the area where the lowest elevation was observed.



**Township of Douro-Dummer**  
**Notice of Complete Application and Public Meeting**  
**Concerning a proposed Zoning By-law Amendment**  
**Application R-12-24**

---

**The meeting will be held in person and electronically**

**Take Notice** that the Council of The Corporation of the Township of Douro-Dummer has received a complete application for Zoning By-law Amendment and will hold a public meeting to consider the proposed amendment to the Township of Douro-Dummer Comprehensive Zoning By-law under Section 34 of the Planning Act, R.S.O., 1990.

**Date and Time:** **Tuesday, November 5, 2024 at 5:00 p.m.**  
**Location:** Council Chambers of the Municipal Office  
894 South Street, Warsaw ON and  
Electronic Meeting Site

**Public Hearing:** The meeting will be held in person and electronically (virtual). Any person wishing to make written and/or oral submissions either in support of or opposition to the proposal must contact the Clerk by email at [mchaithartwig@dourodummer.ca](mailto:mchaithartwig@dourodummer.ca) or call 705-652-8392 ext. 210 no later than 9:00 a.m. on the day of the scheduled public hearing. Please indicate if you wish to attend in person or virtually and you will be provided with the applicable instructions for participation.

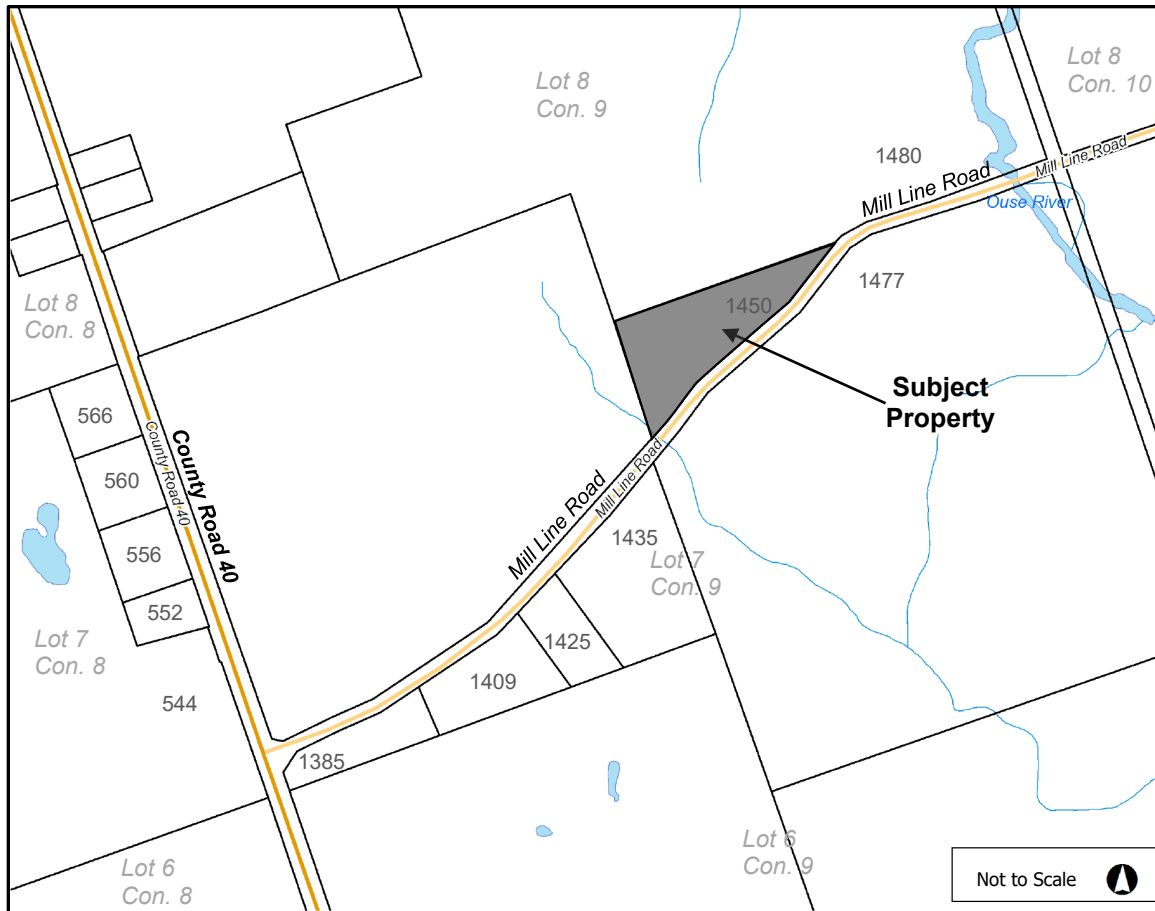
If you wish to view the public meeting in real time, but do not wish to speak to the application, the meeting will be hosted on the [Township's YouTube Channel](#). The meeting will also be recorded and available after the meeting for public viewing on the same platform.

It is the responsibility of the interested member of the public to have technology in place to connect to the meeting.

<b>Legal Description/ Address:</b>	1450 Mill Line Road Part Lot 7, Concession 9 (Dummer Ward) Parts 1 & 2, Plan 45R-11792 Roll No.: 1522-020-002-10501  A key map is provided on the next page
<b>Owner/Applicant:</b>	Mike & Robyn Earnshaw / Josh Bootsma
<b>File Name:</b>	R-12-24

**Additional Information** relating to the proposed zoning by-law amendment is available by contacting the undersigned or by visiting the Township Website at:  
<https://www.dourodummer.ca/modules/news/en>.

## Key Map:



### **Purpose and Effect of Application:**

On behalf of the Owners, their Agent has applied to amend the existing zoning of their property known municipally as 1450 Mill Line Road and more particularly described as Parts 1 & 2, Plan 45R-11792, Part Lot 7, Concession 9 in the former Township of Dummer, (now the Dummer Ward of the Township of Douro-Dummer) in the County of Peterborough.

The subject property is currently zoned the Environmental Conservation Provincially Significant Wetland Zone (EC(P)) and the Special District 114 Zone (S.D. 114) as illustrated on Schedule A2 to By-law No. 10-1996, as amended.

The Owners are seeking to convert the existing, approximately 65 square metre (700 square foot), structure on the subject property from a honey house to a single detached dwelling. The Owners are also proposing an approximately 63.17 square metre (680 square foot) residential addition to the east of the existing structure. The proposed development is located within the (S.D. 114) Zone. Within the (S.D. 114) Zone, a single detached dwelling is only permitted accessory to a honey house. A Zoning By-law Amendment is required to allow the existing structure and addition to be used as a single detached dwelling as the primary use of the property.

The Amendment will also place the wetland and a 30 metre (98.43 foot) buffer in the Environmental Conservation – Provincially Significant Wetland Zone (EC(P)).

The effect of the Amendment is to rezone portions of the subject property from the Special District 114 Zone (S.D. 114) to the Residential (R) Zone and to the Environmental Conservation Provincially Significant Wetland Zone (EC(P)) to permit the conversion and expansion of the existing building to be used as a single detached dwelling and to recognize the findings of the Wetland Assessment prepared by Greer Galloway, dated September 10, 2024. All other applicable provisions of By-law No. 10-1996, as amended will continue to apply.

**Accessibility:** If you have accessibility needs and require alternative formats or other accommodations, please contact the undersigned.

**Notification:** If you wish to be notified of the decision of the Council of the Township of Douro-Dummer on the proposed zoning by-law amendment, you must make a written request to the Clerk of the Township of Douro-Dummer using the contact information provided below.

### **The Right to Appeal**

If a person or public body would otherwise have an ability to appeal the decision of the Township of Douro-Dummer to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Douro-Dummer before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting, or make written submissions to the Township of Douro-Dummer before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

Notwithstanding the above, subsection 34(19) of the Planning Act defines the parties that are eligible to appeal the decision to the Ontario Land Tribunal.

**Privacy Disclosure:** All written submissions, documents, correspondence, e-mails or other communications (including your name and address) are collected under the authority of the *Planning Act* and become part of the public record and may be made available for public viewing or distribution. Please note that by submitting any of this information, you are providing the Township with your consent to use and disclose this information as part of the planning process.

Dated this 11th day of October, 2024 at the Township of Douro-Dummer.

Martina Chait-Hartwig  
Clerk  
705-652-8392 Ext. 210  
[mchaithartwig@dourodummer.ca](mailto:mchaithartwig@dourodummer.ca)

Christina Coulter  
Planner  
705-652-8392 Ext. 226  
[ccoulter@dourodummer.ca](mailto:ccoulter@dourodummer.ca)



**From:** [Martina Chait-Hartwig](#)  
**To:** [Barb Rockwell](#)  
**Cc:** [Christina Coulter](#); [Todd Davis](#)  
**Subject:** RE: 1450 Mill Line Road  
**Date:** October 21, 2024 11:46:56 AM

---

Hi Barb,

Thank you for your comment on this file. We will note your support for the application at the public meeting.

All the best,

Martina

::  
Martina Chait-Hartwig, AOMC, Dipl. M.A.  
Clerk

T: 705 652 8392 x 210 F: 705 652 5044



-----Original Message-----

**From:** [noreply@dourodummer.on.ca](mailto:noreply@dourodummer.on.ca) <[noreply@dourodummer.on.ca](mailto:noreply@dourodummer.on.ca)>  
**On Behalf Of** Barb Rockwell  
**Sent:** Saturday, October 19, 2024 11:08 AM  
**To:** Martina Chait-Hartwig <[mchaithartwig@dourodummer.ca](mailto:mchaithartwig@dourodummer.ca)>  
**Subject:** 1450 Mill Line Road

I am unable to make the meeting on November 5th but wish to lend my support for the building permit requested by the Earnshaws at 1450 Mill Line Road. I am their direct neighbour to the east at 1480.

I have no objections to their plan but object to the time wasted by and the bureaucracy created by Douro Dummer for this application.  
Barb Rockwell

-----  
**Origin:** [https://www.dourodummer.ca/en/business-and-economic-development/business-licences-and-permits.aspx?\\_mid\\_=21698](https://www.dourodummer.ca/en/business-and-economic-development/business-licences-and-permits.aspx?_mid_=21698)  
-----

This email was sent to you by Barb Rockwell <[bjrockwell@hotmail.com](mailto:bjrockwell@hotmail.com)> through <https://www.dourodummer.ca>.

**From:** [CA - Circulations](#)  
**To:** [Christina Coulter](#)  
**Subject:** RE: R-12-24 (Earnshaw)  
**Date:** October 11, 2024 1:11:23 PM  
**Attachments:** [image001.png](#)  
**Importance:** Low

---



**Your E-mail was Received on:** Friday, October 11, 2024

**Thank you for your email on:** R-12-24 (Earnshaw)

The information that municipalities provide to Bell Canada is instrumental to the provisioning of telecommunications infrastructure and we appreciate the opportunity to be proactively engaged in development applications and infrastructure and policy initiatives.

Bell Canada will provide a response should any comments / input be required on the information included in the circulation received. Bell Canada kindly requests that even if a specific comment is not provided at this time that you continue to circulate us at [circulations@wsp.com](mailto:circulations@wsp.com) on any future materials related to this development project or infrastructure / policy initiative so that we can continue to monitor its progress and are informed of future opportunities for engagement.

**1) Bell Canada Responses to Pre-Consultation & Complete Development Application Circulations:**

**Pre-consultation Circulations**

Please note that Bell Canada does NOT generally comment on pre-consultation circulations unless the information provided identifies that a future draft plan of subdivision, draft plan of condominium and/or site plan control application will be required to advance the development proposal.

**Complete Application Circulations & Recirculations**

Please note that Bell Canada does NOT generally comment on the following development applications - official plan and zoning by-law amendments, part lot control, temporary use and interim control by-laws. However, Bell Canada does generally comment on site plan approval, draft plans of subdivision and draft plan of condominium applications.

Bell Canada will generally comment on recirculations where the change modifies the proposed residential dwelling unit count and/or non-residential gross floor area in a draft plan of subdivision, draft plan of condominium and/or site plan control application.

**2) Bell Canada Responses to Infrastructure and Policy Initiative Circulations:**

If required, a follow-up email will be provided by Bell Canada to outline any input to be considered on the infrastructure / policy initiative circulation received at this time.

**Concluding Remarks:**

If you have any other specific questions, please contact [planninganddevelopment@bell.ca](mailto:planninganddevelopment@bell.ca) directly.

We note that WSP operates Bell Canada's development tracking system, which includes the intake and processing of municipal circulations. **However, all responses to circulations and requests for information, such as requests for clearance, will come directly from Bell Canada, and not from WSP.** WSP is not responsible for the provision of comments or other responses.

Should you have any questions, please contact the undersigned.

Yours Truly,



**Juan Corvalan**

**Bell Canada**

Senior Manager – Municipal Liaison

Network Provisioning

[planninganddevelopment@bell.ca](mailto:planninganddevelopment@bell.ca)

---

**From:** Christina Coulter <ccoulter@dourodummer.ca>  
**Sent:** Friday, October 11, 2024 5:07:56 PM  
**Cc:** Martina Chait-Hartwig <mchaithartwig@dourodummer.ca>  
**Subject:** R-12-24 (Earnshaw)

Good Afternoon;

The Township is in receipt of a rezoning application File R-12-24 (Earnshaw). A copy of the Notice of Complete Application and Public Meeting and Draft By-law are attached and will be mailed and posted on the [Township website](#) today.

Please provide your comments no later than 11:00 a.m. on Tuesday October 22, 2024.

Sincerely,  
Christina

Christina Coulter B. Sc. (Hons.)  
Planner  
[Planning and Development](#)

T: 705 652 8392 x 226 F: 705 652 5044

Township of

**Douro-Dummer**

---

NOTICE: This communication and any attachments ("this message") may contain information which is privileged, confidential, proprietary or otherwise subject to restricted disclosure under applicable law. This message is for the sole use of the intended recipient(s). Any unauthorized use, disclosure, viewing, copying, alteration, dissemination or distribution of, or reliance on, this message is strictly prohibited. If you have received this message in error, or you are not an authorized or intended recipient, please notify the sender immediately by replying to this message, delete this message and all copies from your e-mail system and destroy any printed copies. You are receiving this communication because you are listed as a current WSP contact. Should you have any questions regarding WSP's electronic communications policy, please consult our Anti-Spam Commitment at [www.wsp.com/casl](http://www.wsp.com/casl). For any concern or if you believe you should not be receiving this message, please forward this message to [caslcompliance@wsp.com](mailto:caslcompliance@wsp.com) so that we can promptly address your request. Note that not all messages sent by WSP qualify as commercial electronic messages.

AVIS : Ce message, incluant tout fichier l'accompagnant (« le message »), peut contenir des renseignements ou de l'information privilégiés, confidentiels, propriétaires ou à divulgation restreinte en vertu de la loi. Ce message est destiné à l'usage exclusif du/des destinataire(s) voulu(s). Toute utilisation non permise, divulgation, lecture, reproduction, modification, diffusion ou distribution est interdite. Si vous avez reçu ce message par erreur, ou que vous n'êtes pas un destinataire autorisé ou voulu, veuillez en aviser l'expéditeur immédiatement et détruire le message et toute copie électronique ou imprimée. Vous recevez cette communication car vous faites partie des contacts de WSP. Si vous avez des questions concernant la politique de communications électroniques de WSP, veuillez consulter notre Engagement anti-pourriel au [www.wsp.com/lcap](http://www.wsp.com/lcap). Pour toute question ou si vous croyez que vous ne devriez pas recevoir ce message, prière de le transférer au [conformitelcap@wsp.com](mailto:conformitelcap@wsp.com) afin que nous puissions rapidement traiter votre demande. Notez que ce ne sont pas tous les messages transmis par WSP qui constituent des messages électroniques commerciaux.

-LAEmHhHzdJzBITWfs4Hgs7pbKI

**From:** [Municipal Planning](#)  
**To:** [Christina Coulter](#)  
**Subject:** RE: R-12-24 (Earnshaw)  
**Date:** October 17, 2024 2:09:14 PM  
**Attachments:** [image001.png](#)

---

Thank you for your circulation.

Enbridge Gas does not object to the proposed application(s) however, we reserve the right to amend or remove development conditions. This response does not signify an approval for the site/development.

Please always call before you dig, see web link for additional details:  
<https://www.enbridgegas.com/safety/digging-safety-for-contractors>

Please continue to forward all municipal circulations and clearance letter requests electronically to [MunicipalPlanning@Enbridge.com](mailto:MunicipalPlanning@Enbridge.com).

Regards,

**Willie Cornelio** CET (he/him)  
Sr Analyst, Municipal Planning  
**Engineering**

**ENBRIDGE**  
TEL: 416-495-6411  
500 Consumers Rd, North York, ON M2J1P8  
[enbridge.com](http://enbridge.com)  
**Safety. Integrity. Respect. Inclusion.**

---

**From:** Christina Coulter <ccoulter@dourodummer.ca>  
**Sent:** Friday, October 11, 2024 1:08 PM  
**Cc:** Martina Chait-Hartwig <mchaithartwig@dourodummer.ca>  
**Subject:** [External] R-12-24 (Earnshaw)

**CAUTION! EXTERNAL SENDER**

Were you expecting this email? TAKE A CLOSER LOOK. Is the sender legitimate?  
DO NOT click links or open attachments unless you are 100% sure that the email is safe.

Good Afternoon;

The Township is in receipt of a rezoning application File R-12-24 (Earnshaw). A copy of the Notice of Complete Application and Public Meeting and Draft By-law are attached and will be mailed and posted on the [Township website](#) today.

Please provide your comments no later than 11:00 a.m. on Tuesday October 22, 2024.

Sincerely,

Christina

Christina Coulter B. Sc. (Hons.)  
Planner  
Planning and Development

T: 705 652 8392 x 226 F: 705 652 5044

---

Township of

**Douro-Dummer**





October 18<sup>th</sup> 2024

Christina Coulter  
Planner  
Township of Douro-Dummer  
894 South Street, P.O. Box 92,  
Warsaw Ontario, K0L 3A0

Dear Christina Coulter,

**RE: R-12-24, Mike & Robyn Earnshaw/Josh Bootma, 1450 Mill Line Road, Township of Douro-Dummer, Roll # 1522 020 002 10501; ORCA file: PPLD-2332**

The Otonabee Region Conservation Authority (Otonabee Conservation) has received the circulation for a Zoning By-law Amendment for the above noted property on October 11<sup>th</sup> 2024. Otonabee Conservation staff have reviewed the information in accordance with our mandate and policies and offer the following comments.

The purpose of the above noted application is to amend the existing zoning to convert the existing structure on the subject property from a honey house to a single detached dwelling with a proposed addition.

The proposed development is located within the (S.D. 114) Zone. Within the (S.D. 114) Zone, a single detached dwelling is only permitted accessory to a honey house. A Zoning By-law Amendment is required to allow the existing structure and addition to be used as a single detached dwelling as the primary use of the property. The amendment will also place the wetland and a 30 metre (98.43 foot) buffer in the Environmental Conservation – Provincially Significant Wetland Zone (EC(P)).

The effect of the amendment is to rezone portions of the subject property from the Special District 114 Zone (S.D. 114) to the Residential (R) Zone and to the Environmental Conservation Provincially Significant Wetland Zone (EC(P)).

Otonabee Conservation's interest in this application is four-fold:

1. *Otonabee Conservation has reviewed this application through our delegated responsibility from the Province to represent provincial interests regarding natural hazards identified in any policy statement or provincial plan issued under the Planning Act.*

Otonabee Conservation mapping indicates that the proposed development is located within a known natural hazard. The property is traversed with wetland features which are associated with flooding and unstable soils.

The application provided a wetland assessment for the property which did not provide the necessary information to properly identify the wetland boundaries onsite.

The application for the Draft By-law is proposing to rezone the Provincially Significant Wetland and a 30 metre buffer. Staff are of the opinion that this is sufficient for this application as it would cover the feature and likely a buffer area associated with the hazards. **Therefore, it is the opinion of Otonabee Conservation that the application is consistent with Section 3.1 of the Provincial Policy Statement (PPS), referencing Natural Hazards.**

2. *Provincial policies dictate that development shall not create new or aggravate existing natural hazards. Otonabee Conservation has reviewed this application through our mandated responsibility under Ontario Regulation 686/21 and provide the following comments, technical support or information, and advice.*

**This application is not creating new or proposing to aggravate existing natural hazards.**

3. *Otonabee Conservation has reviewed the application through a regulatory lens. Ontario Regulation 41/24 prohibits any development, interference with, or alteration within a flooding hazard, erosion hazard, hazardous lands, watercourse, wetland and/or their adjacent lands/areas of interference unless a permit has been issued by Otonabee Conservation under Section 28 of the Conservation Authorities Act.*

Otonabee Conservation mapping indicates that the lands are partially subject to Ontario Regulation 41/24 Otonabee Conservation's "Prohibited Activities, Exemptions and Permits" regulation. **Permits from this agency may be required prior to any site alteration or construction in those areas regulated by Otonabee Conservation.**

4. *Otonabee Conservation has reviewed the application to assess the applicability of the Trent Source Protection Plan (SPP) prepared under the Clean Water Act (CWA). The SPP came into effect on January 1, 2015, and contains policies to protect sources of municipal drinking water from existing and future land use activities that pose a significant drinking water threat.*

**It was determined that the subject property is not located within a vulnerable area that is subject to SPP policies.** The subject property is located within the vulnerable area(s) listed below. Significant drinking water threats are not possible and a Restricted Land Use Notice is not required.

- Highly Vulnerable Aquifer

If you have any questions, please do not hesitate to call.

Yours truly,



Marnie Guindon  
Planning and Regulations Officer

**Recommendation:**

That Report Planning-2024-27, dated November 5, 2024, regarding Zoning By-law Amendment – File R-13-24 be received; and

That Council receive all comments related to Zoning By-law Amendment File R-13-24; and

That the By-law to enact the amendment be passed at the appropriate time in the meeting.

**Overview:**

Agent, Holly Richards-Conley on behalf of Owner, Deborah Sandeman has applied to amend the existing zoning on the property known municipally as 800 Canal Road, being Roll No. 1522-010-005-24400. The subject property is zoned the Special District 155 Zone (S.D. 155) as shown on Schedule B1 to By-law No. 10-1996, as amended.

The subject property is currently vacant and the owner wishes to construct a two-storey single detached dwelling with a ground floor area of approximately 134 square metres (1445.49 square feet) and a gross floor area of approximately 223 square metres (2403.90 square feet). Due to the smaller size of the subject property and the design of the septic system, the proposed development cannot meet the minimum front, rear and side yard requirements. In addition, the proposed dwelling will exceed the maximum first story floor area, lot coverage and height requirements. Lastly, the rezoning will identify the existing lot area of the subject lands.

A Zoning By-law Amendment is required to permit the construction of a single detached dwelling and related private services (well and septic).

The proposed development is illustrated on the site plan prepared by Elliott and Parr, dated 07/22/2024, and attached to this Report. The proposed dwelling elevations prepared by Molly Conlin Design and Drafting, dated June 2024 are also attached to this Report.

The property was originally rezoned to a Special District through By-law No. 2007-94 to facilitate the issuance of a building permit for the construction of a 22 foot by 28 foot two-storey detached dwelling. Since that time, ownership of the property has changed and the new owners desire to construct a dwelling that would not fit within the requirements of the Special District Zone. A pre-consultation was held on January 19, 2023 on an initial design proposal for the subject property. Since then, the design and layout of the proposed development has been modified mainly to accommodate the septic system.

As part of the pre-consultation process, Hiawatha First Nation commented that they would like to see a Stage 1 Archaeological Assessment done due to the proximity of the

canal. The Owner hired Northeastern Archaeological Associates Ltd. who completed a Stage 1 and 2 assessment of the property. The assessment did not find any archaeological resources. A copy of the Northeastern comments dated September 20, 2024 is attached to this Report.

As proposed, the effect of the Amendment is to revise the Special District 155 Zone (S.D. 155) to permit the construction of a single detached dwelling and related private services (well and septic). The Special District 155 Zone (S.D. 155) is proposed to be amended to recognize deficiencies in lot area and yard setbacks and increases for the maximum first storey floor area, maximum lot coverage and maximum height.

All other applicable provisions of By-law No. 10-1996, as amended will continue to apply.

A copy of the draft By-law is attached to this Report.

Notice of the public meeting was provided on October 15, 2024 by ordinary mail and/or e-mail to all prescribed public bodies and to every person and public body that has provided a written request for Notice.

Notice of the public meeting was circulated by ordinary mail to every owner of land within 120 metres of the subject property on October 15, 2024. Notice of the public meeting was posted on the subject property and on the Township Website.

A copy of the Notice is attached to this Report. The giving of Notice complies with the applicable Regulation of the Planning Act.

### **Conformity to Provincial Planning Statement (PPS, 2024):**

Effective October 20, 2024, the Growth Plan and the Provincial Policy Statement were consolidated into one document called the Provincial Planning Statement (PPS, 2024).

The PPS, 2024 is considered a policy statement for the purpose of Section 3 of the Planning Act. All municipal decisions, as well as comments, submissions or advice affecting planning matters, are required to be consistent with the PPS, 2024 pursuant to subsections 3(5) and 3(6) of the Planning Act.

The subject property is within a settlement area for the purposes of the PPS, 2024. Settlement areas are the focus of growth and development (Policy 2.3.1.1). The PPS, 2024 requires that planning authorities support general intensification and redevelopment (Policy 2.3.3.3).

The property is flagged for species at risk. Policy 4.1.7 of the PPS, 2024 states that development and site alteration shall not be permitted in habitat of endangered species and threatened species, except in accordance with provincial and federal requirements.

Regarding policy 4.1.7, the PPS, 2024 defines provincial and federal requirements to be “legislation and policies administered by the provincial government or federal government, where applicable, for the purpose of protecting species at risk and their habitat.”

In previous correspondence, SAROntario has stated that the “provincial requirements” would include the Endangered Species Act (ESA), and there are no requirements under the ESA to undergo a species at risk site assessment for passing By-laws.

The landowner/applicant, not the planning authority, is responsible to demonstrate compliance with the ESA prior to any on-site development (clearing, grading, roads, infrastructure, buildings) regardless of planning approvals or EIS/survey efforts/data in accordance with MECP comments/guidance. For more information, visit <https://www.ontario.ca/page/development-and-infrastructure-projects-and-endangered-or-threatened-species>.

In correspondence dated October 18, 2024, the Otonabee Region Conservation Authority indicated that the proposed development is not located within a known natural hazard. Therefore, it is the opinion of Otonabee Conservation that the application is consistent with Section 3.1 of the Provincial Policy Statement (PPS), referencing Natural Hazards [now Section 5.2 of the PPS, 2024].

A copy of the ORCA comments are attached to this Report and further comments are outlined below.

The rezoning application has demonstrated consistency with the applicable provisions of the PPS, 2024.

#### **Conformity to Official Plan:**

The subject property is within the Donwood settlement area and is designated Hamlet as illustrated on Schedule A4-4 to the Official Plan.

The Hamlet designation refers to existing settlement areas which function as residential and commercial service nodes. They may contain a mix of residential, commercial, small scale industrial, public and institutional facilities (S. 6.2.3.1).

In the Township of Douro-Dummer, the settlement areas of Donwood, Douro and Warsaw function as the primary growth and service centres for the Township. It is intended that residential growth opportunities in Douro-Dummer be directed to these communities (S. 6.2.3.1).

A single detached residential dwelling is permitted within the Hamlet designation (S. 6.2.3.2 & 7.34).



The Hamlet policies require provisions be made for, among other matters, adequate setbacks from property lines (S. 6.2.3.3 (a)). The site plan attached to this Report illustrates the rear of the dwelling has been designed to be “stepped” to match the angle of the rear lot line and reduce encroachment to the greatest extent possible. Although the south side yard setback is proposed to be only 1.5 metres, the property immediately adjacent, at 796 Canal Road, is the current residence of the Owner. The existing dwelling located at 796 Canal Road is set back a further 5.16 metres from the closest point of the proposed dwelling.

The 6.05 metre (rounded to 6 metre) front yard setback to the proposed septic bed is within the acceptable setback distance from Canal Road as provided by the Manager of Public Works through the pre-consultation process. While the previous setback distance for a septic system from a public road in By-law No. 10-1996, as amended, was 15 metres, this has been reduced to 3 metres through By-law No. 2024-62. The appeal period for By-law No. 2024-62 expires on November 5, 2024. Although the passing of this By-law would permit the septic to be setback only 3 metres from the lot line abutting Canal Road, the septic designer has determined the system will require a raised bed. Through the pre-consultation process, the Chief Building Official stated that 6 metres would be the Ontario Building Code minimum setback for this type of system.

The application appears to comply with the Official Plan.

### **Comments:**

As of the writing of this Report, Staff received one phone call from a member of the public. The caller did not identify any concerns, but did inquire about the number of bedrooms and bathrooms proposed for the new dwelling. The Planner stated that the rezoning application and preliminary drawings identified two bedrooms and two bathrooms.

Comments were received from the following agencies:

- Bell Canada: No comments on zoning by-law amendments.
- City of Peterborough: Planning Staff have reviewed the notice and the surrounding areas with respect to the City’s Zoning By-law and Official Plan. Planning staff have not identified any concerns with the application and therefore no comments are provided on behalf of the City of Peterborough.
- Enbridge Gas Inc.: No objections to the application.
- Kawartha Pine Ridge District School Board (KPR): KPR has reviewed the application; and has not identified any concerns or issues related to our mandate with the proposed application.
- Otonabee Region Conservation Authority:

Otonabee Conservation mapping indicates that the proposed development is not located within a known natural hazard. Therefore, it is the opinion of Otonabee Conservation that the application is consistent with Section 3.1 of the Provincial Policy Statement (PPS), referencing Natural Hazards.

Otonabee Conservation has reviewed this application through our mandated responsibility under Ontario Regulation 686/21. This application is not creating new or proposing to aggravate existing natural hazards.

Otonabee Conservation mapping indicates that the lands are partially subject to Ontario Regulation 41/24 Otonabee Conservation's "Prohibited Activities, Exemptions and Permits" regulation. Permits from this agency may be required prior to any site alteration or construction in those areas regulated by Otonabee Conservation.

It was determined that the subject property is not located within a vulnerable area that is subject to Trent Source Protection Plan (SPP) policies. Significant drinking water threats are not possible and a Restricted Land Use Notice is not required.

Copies of these agency comments are attached to this Report.

The application was circulated to Senior Staff on October 15, 2024. During circulation Staff recommended that the requested maximum lot coverage of 17.51% be increased to 17.6% to allow some minor flexibility for the proposed development. As a result, the attached draft By-law has been amended accordingly.

As of the writing of this Report, there were no further concerns identified by Senior Staff.

**Conclusion:**

The requested zoning by-law amendment is required to permit the construction of a single detached dwelling and related private services (well and septic) on the subject property. The Special District 155 Zone (S.D. 155) will be amended to recognize deficiencies in lot area and yard setbacks and increases for the maximum first storey floor area, maximum lot coverage and maximum height.

As applied for, the proposed rezoning meets the intent of municipal and provincial policies.

**Financial Impact:**

All costs related to the application for a Zoning By-law Amendment are the responsibility of the Owner/Applicant.



**Service Modernization and Innovation**

Modernizing, refining and innovating services for residents is essential to effectively meet the needs of our community, enhance our operational efficiency, and ensure we remain adaptable in a rapidly changing world.



**Business Attraction, Expansion, and Retention**

Business attraction, expansion, and retention is vital for the economic health and sustainability of our Township, such as job creation, tax revenue, investing in innovation, maintaining our quality of life, and supporting community stability.



**Infrastructure Renewal**

Infrastructure renewal is a critical investment for our Township as it will ensure our adherence to health and safety, economic development, investment attraction, environmental sustainability, quality of life, public confidence, and regional competitiveness.

**Report Approval Details**

Document Title:	R-13-24 (Sandeman) Public Meeting Report.docx
Attachments:	<ul style="list-style-type: none"> <li>- R-13-24 - Draft By-law.pdf</li> <li>- R-13-24 Application_Redacted.pdf</li> <li>- R-13-24 24-19-185-00_SITEPLAN_2024-07-22.pdf</li> <li>- R-13-24 Archaeological Comments.pdf</li> <li>- R-13-24 Elevations.pdf</li> <li>- R-13-24 - Bell (October 15, 2024).pdf</li> <li>- R-13-24 - City of Peterborough (October 18, 2024).pdf</li> <li>- R-13-24 - Enbridge (October 18, 2024).pdf</li> <li>- R-13-24 - KPRDSB (October 16, 2024).pdf</li> <li>- R-13-24 - ORCA PPLD-2333 (October 18, 2024).pdf</li> </ul>
Final Approval Date:	Oct 30, 2024

This report and all of its attachments were approved and signed as outlined below:

Martina Chait-Hartwig

Todd Davis

**The Corporation of the Township of Douro-Dummer**

**By-law Number 2024-XX**

**Being a By-law to amend By-law Number 10-1996, as amended, otherwise known as "The Township of Douro-Dummer Comprehensive Zoning By-law"**

**Whereas** By-law Number 10-1996, as amended, regulates the use of land and the use and erection of buildings and structures within the Township of Douro-Dummer;

**And Whereas** Section 34 of The Planning Act, RSO 1990, as amended, permits the Council to pass an amending Zoning By-law;

**And Whereas** the Council of the Township of Douro-Dummer deems it advisable to further amend By-law No. 10-1996 as amended;

**Now Therefore** the Council of the Township of Douro-Dummer hereby enacts as follows:

1. The area affected by this By-law is known municipally as 800 Canal Road and more particularly described as Part Lot 1, Concession 12 (Douro Ward) being Part Lot 44, Plan 6 as shown on Schedule "1" attached hereto and forming part of this By-law.
2. Section 21 Special Districts is amended by deleting subsection "21.155 Special District 155 Zone (S.D. 155)" in its entirety and replacing it with the following:

**21.155      Special District 155 Zone (S.D. 155) – Roll No. 1522-010-005-24400**

No person shall within any Special District 155 Zone (S.D. 155) use any land, or erect, alter or use any building or structure except in accordance with the following provisions:

**21.155.1      Permitted Uses**

**21.155.1.1**              One permanent single detached 2-storey dwelling on one (1) lot.

**21.155.2      Regulations for Permitted Uses**

All regulations of Section 4.2.1 of the Residential Zone (R) of By-law 10-1996, as amended, shall apply with the following exceptions:

- |   |                      |
|---|----------------------|
| a) Minimum Lot Area                                       | 766 m <sup>2</sup>   |
| b) Minimum Lot Frontage                                   | 24 m                 |
| c) Minimum Front Yard                                     | 9 m                  |
| d) Minimum Rear Yard                                      | 4 m                  |
| e) Minimum First Storey Floor Area                        | 58 m <sup>2</sup>    |
| f) Maximum First Storey Floor Area                        | 134.3 m <sup>2</sup> |
| g) Maximum Lot Coverage                                   | 17.6%                |
| h) Maximum Height   | 9.1 m                |
| i) Minimum setback for a septic system from a public road | 6 m                  |

- j) Minimum Interior Side Yard (South) 1.5 m
- k) Minimum Interior Side Yard (North) 5 m
- l) All provisions of Section 3, General Zone Provisions, as they apply to the use of land, buildings or structures permitted in the Special District 155 Zone (S.D. 155) shall apply and be complied with.

3. All other relevant provisions of By-law 10-1996, as amended, shall apply.

If no notice of objection is filed with the Clerk within the time provided, this By-law shall become effective on the date of passing hereof, subject to the provisions of The Planning Act, RSO 1990, as amended.

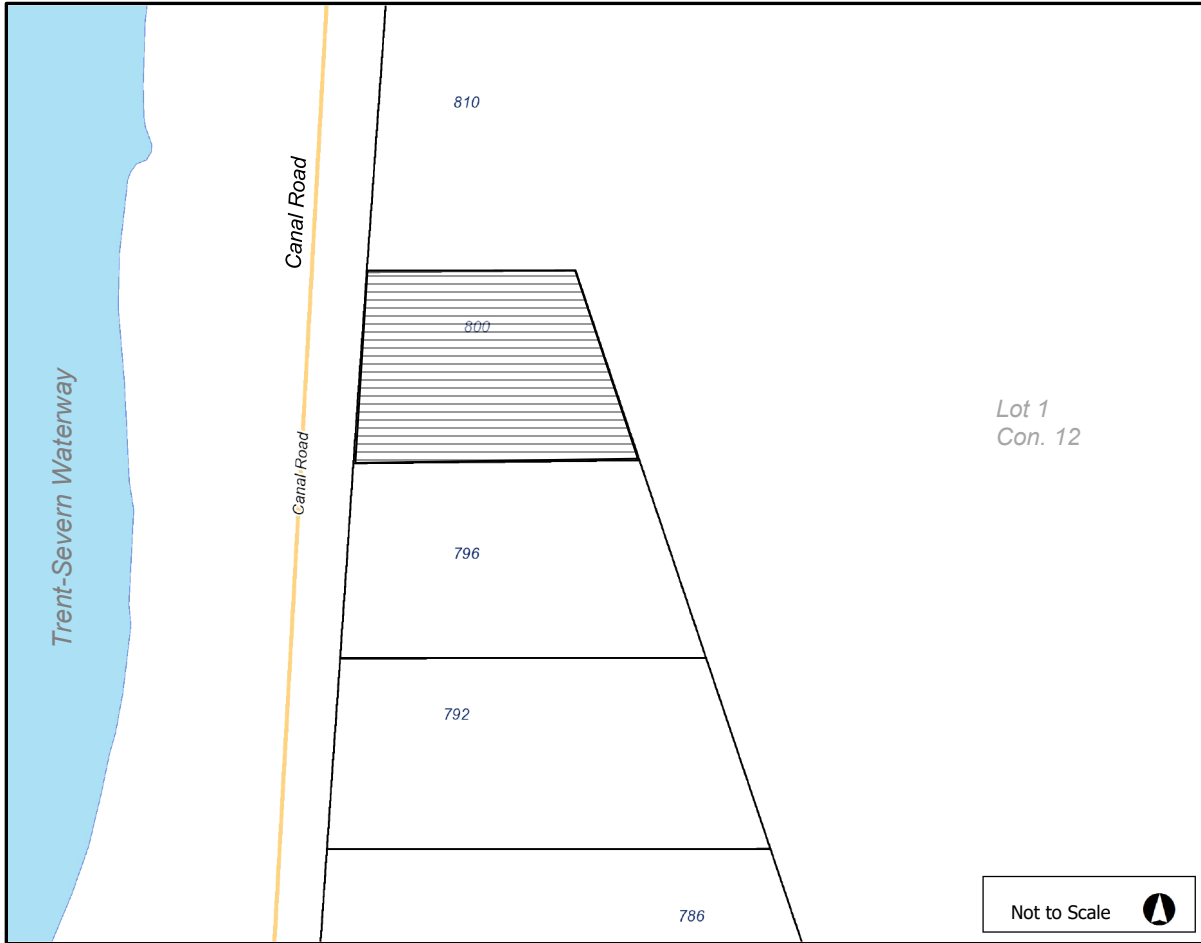
Passed in Open Council this 5th day of November, 2024.


\_\_\_\_\_  
Mayor, Heather Watson

\_\_\_\_\_  
Clerk, Martina Chait-Hartwig



Schedule "1" to By-law 2024-XX

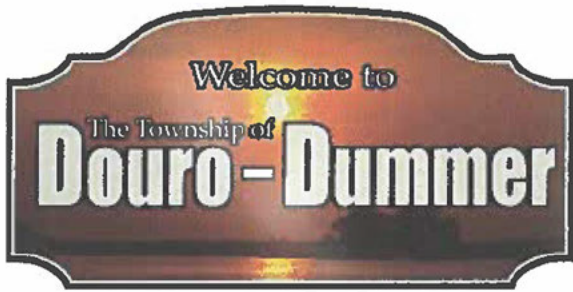


 **Area to remain zoned the 'Special District 155 Zone (S.D. 155)'**

**This is Schedule '1' to By-law No. 2024-XX passed this 5th day of November, 2024.**

\_\_\_\_\_  
Mayor, Heather Watson

\_\_\_\_\_  
Clerk, Martina Chait-Hartwig



Office Use Only	
File No.	R-13-24
Date App. Submitted	
Application Fee	\$
Date Fee Received	September 26, 2024
Date Application Deemed Complete	
Roll No.	010-005-24400

**Township of Douro-Dummer Application for  
Amendment to Zoning By-law #10-1996, as amended**  
(Section 34 of the Planning Act, R.S.O. 1990, c. P. 13, as amended)

**1.0 Applicant Information**

Registered Owner(s): Deborah Frances Sandeman  
(Please Indicate Name(s) *Exactly* as Shown on the Transfer/Deed of Land)

Address: [REDACTED]  
[REDACTED]  
[REDACTED]

Phone: (home) [REDACTED]      Email: [REDACTED]  
Phone: (cell) \_\_\_\_\_      Phone: (work) \_\_\_\_\_  
Fax: \_\_\_\_\_

**2.0 Agent Information**

Authorized Agent (if any): Holly Richards-Conley (Black Point Construction Services)

Address: 195 Barcroft Rd.  
Lakehurst, ON  
K0L 1J0

Phone: (home) \_\_\_\_\_      Email: holly@blackpointservices.com  
Phone: (cell) 705-772-0792      Phone: (work) \_\_\_\_\_  
Fax: \_\_\_\_\_

**3.0 Other Information – Charges Against the Land**

If known, the name(s) and address(es) of holder(s) of any mortgages, charges or other encumbrance(s) in respect of the subject land: N/A

**4.0 Legal Description/Location/Property Characteristics/Access to Subject Land:**

County <b>Peterborough</b>		Township <b>Douro-Dummer</b>	Ward (Former Township) <b>Douro</b>
Concession Number(s)	Lot Number(s)	Legal Description: <b>00800-Canal Road</b>	
Registered Plan No: <b>Plan 6</b>	Lot(s)/ Block No. <b>44</b>	Civic/911 Address: <b>800 Canal Rd.</b>	
Reference Plan No:	Part Number(s):	Are there any easements or restrictive covenants affecting the property?	
Date subject land was purchased by current		<b>April 2021</b>	

**4.1 Dimensions of the Subject Land**

Frontage:	Depth:	Area: <b>767.1 sq. m</b>
<input type="checkbox"/> Water: _____	<input type="checkbox"/> Min: <b>26.70m</b>	
<input checked="" type="checkbox"/> Road: <b>24.38m</b>	<input type="checkbox"/> Max: <b>36.87m</b>	

**4.2 Access to the Subject Land**

<b>Access to Subject Property –</b>		<input checked="" type="checkbox"/> <b>Existing</b>	or	<input type="checkbox"/> <b>Proposed</b>
<input checked="" type="checkbox"/> Municipal Road – maintained year round	<input type="checkbox"/> Private Road			
<input type="checkbox"/> County Road	<input type="checkbox"/> Right-of-way			
<input type="checkbox"/> Provincial Highway	<input type="checkbox"/> Water			
<input type="checkbox"/> Other public road (Specify):				
Name of Road/Street:	<b>Canal Rd.</b>			
<b>If access to the land is by water only:</b>				
Where are parking and docking facilities:				
Approximate distance from subject land:				
Approximate distance from nearest public road:				

**5.0 Official Plan Designation and Zoning**

Official Plan Designation: Hamlet

Please provide an explanation of how the application for rezoning will conform to the Official Plan  
Single, detached residential dwellings are a permitted use within the areas designated Hamlet in Douro-Dummer.

Zoning By-law : S.D. 155

Is the subject land in an area where zoning conditions apply?  Yes  No. If yes, please explain how the application conforms to the Official Plan policies relating to zoning with conditions: One permanent single detached 2-storey dwelling on one (1) lot is the permitted use for S.D. 155 in the zoning by-law.

**5.1 Density and Height Requirements**

Are there minimum and maximum density requirements on the property:  Yes  No  
If Yes, what are they and are they being met? \_\_\_\_\_

Are there minimum and maximum height requirements on the property:  Yes  No  
If Yes, what are they and are they being met? \_\_\_\_\_

**6.0 Purpose of the Application**

Please describe the nature and extent of the rezoning request: \_\_\_\_\_

Please see attached appendix for rezoning requests.

Please explain the reason for the requested rezoning: \_\_\_\_\_

To due the smaller size of the lot and the design of the septic in the front yard, we are requesting the zoning changes.

**7.0 Settlement/Employment Areas**

Does the application propose to implement or alter a boundary of an area of settlement:

Yes  No If Yes, please explain the details of the Official Plan or Official Plan Amendment that deal with this matter? \_\_\_\_\_

Does the application propose to remove land from an area of employment (Hamlet or Special Industrial properties):  Yes  No If Yes, please explain the details of the Official Plan or Official Plan Amendment that deal with this matter? \_\_\_\_\_

**8.0 Property Characteristics, Access and Servicing Information**

<b>Water Supply:</b>	Please identify the type of water supply serving the subject property:
<input type="checkbox"/> Existing <input checked="" type="checkbox"/> Proposed	<input checked="" type="checkbox"/> Privately-owned/operated individual well <input type="checkbox"/> Privately-owned/operated communal well <input type="checkbox"/> Publicly-owned/operated piped water system <input type="checkbox"/> Lake or other water body <input type="checkbox"/> Other (specify): _____

<b>Storm Drainage:</b>	Please identify the type of storm drainage serving the subject property:
<input checked="" type="checkbox"/> Existing <input type="checkbox"/> Proposed	<input type="checkbox"/> Sewers <input checked="" type="checkbox"/> Ditches <input type="checkbox"/> Swales <input type="checkbox"/> Other (specify): _____

<b>Sewage Disposal:</b>	Please identify the type of sewage disposal serving the subject property:
<input type="checkbox"/> Existing <input checked="" type="checkbox"/> Proposed	<input checked="" type="checkbox"/> Privately-owned/operated individual septic system <input type="checkbox"/> Privately-owned/operated communal septic system <input type="checkbox"/> Publicly-owned/operated sanitary sewage system <input type="checkbox"/> Privy <input type="checkbox"/> Other (specify): _____
	<p>If the sewage disposal system is proposed, have you obtained a permit from the Township of Douro-Dummer? <input type="checkbox"/> Yes    or    <input checked="" type="checkbox"/> No</p> <p style="text-align: right;">Permit Number: _____</p> <p>Does the application permit development on Privately-owned/operated individual or communal septic systems and more than 4500 Litres of effluent would be produced per day as a result of the development being completed? (this is usually anything above or beyond a regular single family dwelling)</p> <p><input type="checkbox"/> Yes    or    <input checked="" type="checkbox"/> No</p> <p>If yes, the following are required:</p> <p>a) A servicing options report    Date received: _____</p> <p>b) A hydrogeological report    Date received: _____</p>

<b>Source Water Protection Area:</b>	<p>Is your property within a vulnerable area as defined by the Source Water Protection Plan?    <input type="checkbox"/> Yes    or    <input checked="" type="checkbox"/> No</p> <p>If yes, have you attached the required clearance notice from the Risk Management Official with your application?    <input type="checkbox"/> Yes    or    <input type="checkbox"/> No</p>
--------------------------------------	---

**9.0 Existing and Proposed Uses and Structures:**

What is the subject land currently used for? Vacant Land

How long have the existing uses of the subject land continued? Unknown

What are the proposed uses of the subject land? Residential

In the tables below, please provide information regarding all existing and proposed structures (this information must also be included on the site plan provided with the application). **Please note** that an up-to-date location survey will be required.

**Existing Structures (in metric)**

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Length	Width	Height	Date Constructed
N/A							

Please place an asterisk (\*) beside any existing structure that will be demolished.

**Proposed Structures (in metric)**

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Length	Width	Height
Dwelling	134.3 sq. m	223.33 sq. m	2	17.68m	9.45m	9.1m

**Will the proposal add any of the following?**

	Yes	No	If yes, please provide:	Existing	Proposed
Total Living Area	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Size	N/A	171.01 sq. m
Bedrooms	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Number	N/A	2
Bathrooms	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Number	N/A	2
New Plumbing Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Number of Fixtures	N/A	11



**10.0 Existing and Proposed Structures: Setbacks**

In the tables below, please provide information regarding all existing and proposed structures (this information must also be included on the site plan provided with the application). **Please note** that an up-to-date location survey will be required.

**Existing Structures** (in metric)

Type of Structure	Front Lot Line	Rear Lot Line	Side Lot Line	Side Lot Line	Water yard	Other (specify)
N/A						

Please place an asterisk (\*) beside any existing structure that will be demolished.

**Proposed Structures** (in metric)

Type of Structure	Front Lot Line	Rear Lot Line	Side Lot Line	Side Lot Line	Water yard	Other (specify)
Dwelling	18.44	4.09m	5m	1.52m	N/A	
Septic	6.05m	-	12.78m	6m	N/A	

**Note:** Information regarding the definitions of the requested dimensions and setbacks can be obtained from the Township's Zoning By-law 2010-55.

**Lot Coverage** (in metric and percentage)

	Existing	Proposed
Principle Use (i.e. Dwelling)		134.4 sq. m (17.51%)
Accessory Structures		N/A
Total		

**11.0 Other Information:**

Please provide any additional information that you feel may be relevant in the review of this application on additional pages as necessary along with any required studies.

**12.0 Other Planning Applications**

Please indicate if the subject land is or has been the subject of an application under the Planning Act.

Type of Planning Application	Yes	No	File Number	Status
Approval of Plan of Subdivision (under Section 51)	<input type="checkbox"/>	<input type="checkbox"/>		
Consent (Severance) (Section 53)	<input type="checkbox"/>	<input type="checkbox"/>		
Minor Variance (Section 45)	<input type="checkbox"/>	<input type="checkbox"/>		
Other: Zoning Amendment to S.D. 155	<input type="checkbox"/>	<input type="checkbox"/>	Unknown	Unknown

**13.0 Provincial Plans**

Is the application consistent with the Provincial Policy Statements?  Yes or  No

Is the subject property within an area of land designated under any provincial plan(s)?  Yes or  No  
**(Growth Plan applies to the entire County of Peterborough)**

If yes, does the application conform to or meet the intent of the provincial plan(s)?  Yes or  No

**14.0 Public Consultation Strategy:**

Please provide a description of the Public Consultation Strategy that will be used by the applicant during the zoning by-law amendment process to ensure that the public is consulted, please attached additional pages if needed:

Neighbours will be circulated with the required notice of public meeting, and the notice of public meeting will be posted on the subject property.

**15.0 Authorization by Owner to Appoint an Agent:**

I/We See attached authorization, being the owner(s) of the subject land, hereby, authorize \_\_\_\_\_ to be the applicant in the submission of this application.

Signature \_\_\_\_\_

Date \_\_\_\_\_

Signature \_\_\_\_\_

Date \_\_\_\_\_

**16.0 Freedom of Information:**

For the purposes of the Freedom of Information and Protection of Privacy Act, I/We authorize and consent to the use by or the disclosure to any person or public body or publishing on the Municipal website any information that is collected under the authority of the Planning Act for the purposes of processing this application.

  
Owner/Applicant/Agent Signature

2024-09-26  
Date

\_\_\_\_\_  
Owner/Applicant/Agent Signature

\_\_\_\_\_  
Date

**17.0 Access to Property:**

I/We Holly Richards-Conley (Authorized Agent), hereby, authorize the members of the Council of the Township of Douro-Dummer or their agent(s)/representative(s) to attend at the subject property located at [insert address] 800 Canal Rd.

  
Owner/Applicant/Agent Signature

2024-09-26  
Date

**18.0 Declaration of Applicant:**


I/We Holly Richards-Conley of the Town of Lakehurst in the  
(name of owner(s)/agent(s)) (city/town/township in which you reside)

County of Peterborough in Ontario solemnly  
(County/Upper-tier municipality, if applicable) (Province/Territory)

declare that:

All the statements contained in this application and provided by me are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath

Declared before me at the Township of Douro-Dummer in the County of Peterborough this 26 day of September, 2024.



Signature of Commissioner, etc.

Donna Kelly  
Deputy Treasurer /Tax Clerk  
Commissioner of Oath

**To be signed in the presence of a Commissioner for taking affidavits**



Owner/Applicant Agent Signature

Owner/Applicant Agent Signature

Township of Douro-Dummer  
This application must be accompanied by the Township of Douro-Dummer Zoning By-law Amendment Fee (\$1650.00) plus the ORCA Fee in cash, by Interac or cheque made payable to the Treasurer of the Township of Douro-Dummer).

Personal information contained on this form, collected pursuant to the Planning Act, will be used for the purpose of responding to the initial application. Questions should be directed to the Freedom of Information and Privacy Coordinator at the institution conducting the procedures under the Act.

File Name/No. \_\_\_\_\_  
Roll No. \_\_\_\_\_

### Affidavit

In the Matter of a **Zoning By-law** application to the Township of Douro-Dummer,

I/We, Holly Richards-Conley, make oath and say that:  
*[Print Owner/Applicant/Agent name]*

1. I am: *[Place a clear mark within the square opposite one of the following paragraphs that describes capacity of deponents.]*
  - the applicant or one of the applicants in the Application(s).
  - the authorized agent acting in this matter for the applicant or applicants.
  - an officer of the corporate applicant named in the Application(s).
2. On or before the *[Insert date]* TBD,  
I will ensure that the notice or notices of the Application(s) provided to me (or the Applicant, as the case may be) by the Township of Douro-Dummer have been posted so as to be clearly visible and legible from a public highway, or other place to which the public has access, at every separately assessed property in the area that constitutes the subject land of the Application(s) or, where posting on the property was impractical, at a nearby location so as to adequately indicate to the public what property is the subject of the Application(s).  
**Should the notice(s) be removed, by any means from the posting area(s), I will immediately contact the Township of Douro-Dummer Planning Department for replacement copies of the notice(s).**

Declared before me at the Township of Douro-Dummer in the County of Peterborough this 26 day of September, 2024.

  
\_\_\_\_\_  
Signature of Commissioner, etc.

Donna Kelly  
Deputy Treasurer /Tax Clerk  
Commissioner of Oath

**Note:** Failure to post the notices, as required by this Affidavit, may result in additional costs and/or delays with your application.

**To be signed in the presence of a Commissioner for taking affidavits**

  
\_\_\_\_\_  
Owner/Applicant Agent Signature

\_\_\_\_\_  
Owner/Applicant Agent Signature



## Township of Douro-Dummer

### Planning Application Costs Acknowledgement Form

I/We, Holly Richards-Conley  
*[Print Owner/Applicant/Agent name]*

**do** hereby acknowledge and agree that the payment of the fee that is submitted with this application for a Zoning By-law Amendment, as being an application fee only, will be used to defray the costs of processing this application, and;

**do** also hereby acknowledge and agree to assume all costs\*\* incurred by the Township of Douro-Dummer associated with the processing of this application that exceed the amount of the application fee, including, but not restricted to, Professional Planning Fees, Engineering Fees and Legal Fees, in addition to the municipal costs associated with this application, and;

**do** also hereby acknowledge and agree to assume all costs\*\* incurred by the Township of Douro-Dummer associated with any Appeal to the Ontario Land Tribunal with respect to this application.

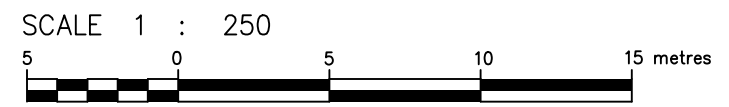
Dated this 26 day of September, 2024.

  
Owner/Applicant/Agent Signature

**\*\*** Written consent from the applicant will be obtained prior to any such additional costs being incurred.



SITE PLAN OF  
**PART OF LOT 44**  
**REGISTERED PLAN No. 6**  
 GEOGRAPHIC TOWNSHIP OF DOURO  
 NOW IN THE  
**TOWNSHIP OF DOURO-DUMMER**  
 COUNTY OF PETERBOROUGH



ELLIOTT AND PARR (PETERBOROUGH), A DIVISION OF J.D. BARNES LIMITED  
 © COPYRIGHT 2024

**METRIC** DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**NOTES**

BEARINGS ARE ASTRONOMIC, DERIVED FROM THE EASTERLY LIMIT OF CANAL ROAD, HAVING A BEARING OF N 4°00'00" E.

ELEVATIONS SHOWN ON THIS PLAN ARE RELATED TO GEODETIC DATUM CGD/28:78 (HTV2.0) AND ARE DERIVED FROM THE COSINE BENCH MARK No. 0011960U3247. HAVING A PUBLISHED ELEVATION OF 195.197 METRES.

ALL BUILDING TIES ARE TAKEN TO CONCRETE FOUNDATION

**LEGEND**

■	DENOTES	SURVEY MONUMENT FOUND
SIB	DENOTES	STANDARD IRON BAR
SSIB	DENOTES	SHORT STANDARD IRON BAR
RIB	DENOTES	ROUND IRON BAR
IB	DENOTES	IRON BAR
WIT.	DENOTES	WITNESS
873	DENOTES	BENINGER SURVEYING LTD. O.L.S.
NI	DENOTES	NO INSCRIPTION
MEAS.	DENOTES	MEASURED
P1	DENOTES	PLAN 45R-14774
P2	DENOTES	PLAN OF SURVEY BY BENINGER SURVEYING LTD. O.L.S. DATED APRIL 06, 1995 (JOB:17859)
D1	DENOTES	INSTRUMENT No. G10562
UP	DENOTES	UTILITY POLE
FNC	DENOTES	FENCE TIE

TRAVELED ROAD KNOWN AS  
**CANAL ROAD**  
 PIN 28479-0316(LT)

PART 1  
 PLAN 45R-14774

PART 2  
 PLAN 45R-14774

PIN 28479-0352(LT)

LOT 44

PIN 28479-0014(LT)

PIN 28479-0015(LT)

REGISTERED PLAN No. 6

JULY 22, 2024  
 DATE

*Stephen W. Olender*  
 STEPHEN W. OLENDER

**Elliott and Parr**  
 (PETERBOROUGH) SURVEYING  
 A Division of MAPPING  
 J. D. Barnes Limited GIS

211 SHERBROOKE ST PETERBOROUGH, ON K9J 2N2  
 T: (705) 745-8444 F: (705) 745-5314 www.jdbarnes.com

DRAWN BY: ES	CHECKED BY: SWO	REFERENCE NO.: 24-19-185-00
FILE: DOURO RP 6 (LOT 44)		DATED: 07/22/2024

# NORTHEASTERN ARCHAEOLOGICAL ASSOCIATES LIMITED

Specializing in Stage 1 to 4 Archaeological Assessments

*Lawrence J. Jackson, Ph.D. (Licence #: P025)*

*P.O. Box 493, Port Hope, Ontario L1A 3Z4*

*Ph: 905 342-3250, northeastarch@gmail.com*



To: Deb Sandeman  
Land Owner

September 20, 2024

Re: 800 Canal Road

Dear Deb,

This letter is to let you know that we completed the Stage 1 and 2 archaeological assessment of your property at 800 Canal Road on September 15, 2024. The entire property was archaeologically assessed and there were no archaeological resources found. Our final report, which is in preparation, will recommend to our regulating Ministry that there are no further archaeological concerns with the property at 800 Canal Road.

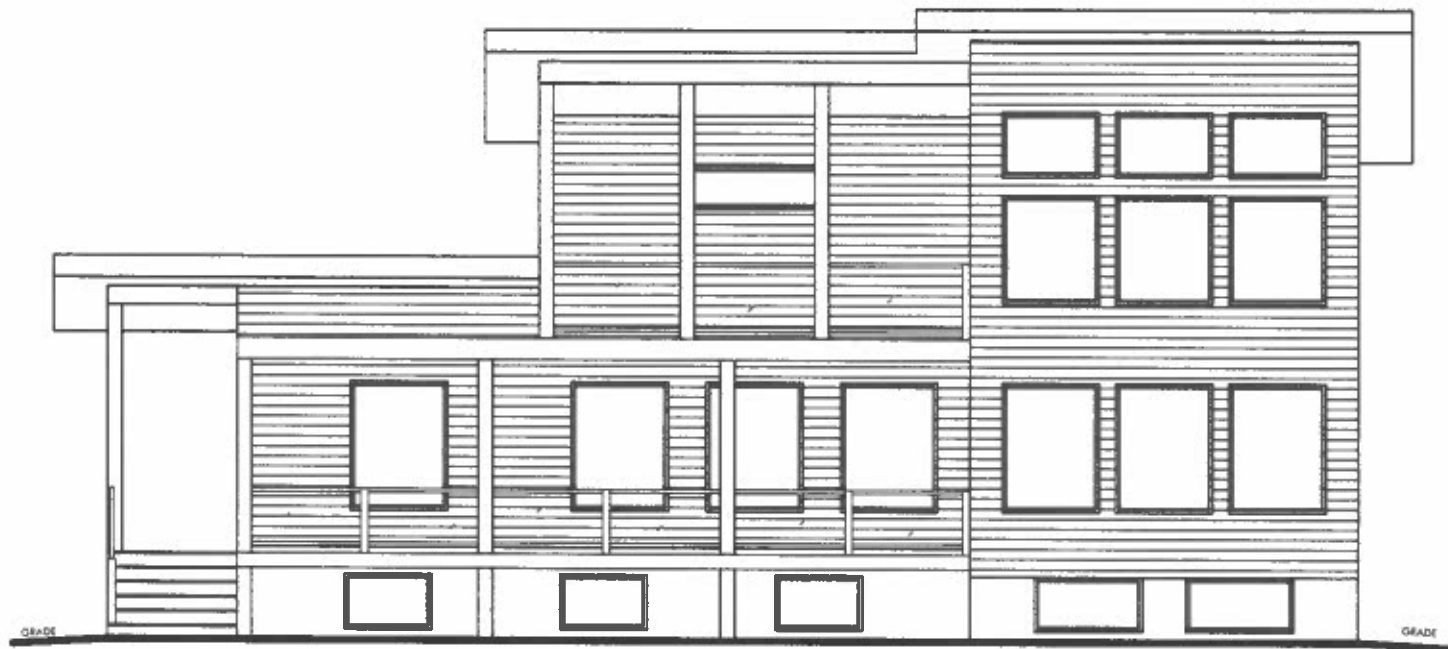
If you have any questions, please feel free to contact me. Thank you.

Sincerely,

A handwritten signature in dark ink, appearing to read 'L. Jackson', with a long horizontal flourish extending to the right.

Lawrence Jackson, Ph.D.

President



# west elevation

ALL CONSTRUCTION METHODS AS PER PART 8 OF THE O.B.C.

ALL TRADES TO HAVE MIN. FIVE YEARS EXPERIENCE IN THEIR RESPECTIVE DISCIPLINES.

ANY DEVIATION FROM THESE PLANS DURING THE BUILDING PROCESS MUST BE REPORTED TO THIS OFFICE TO ENSURE COMPLIANCE WITH THE ONTARIO BUILDING CODE, LATEST EDITION. FAILURE TO DO SO ABSOLVES THIS FIRM FROM RESPONSIBILITY AND LIABILITY. DRAWINGS ARE NOT TO BE SCALED.

ALL DIMENSIONS ARE TO BE CONFIRMED BY CONTRACTOR PRIOR TO ORDERING MATERIALS. ALL DISCREPANCIES ARE TO BE REPORTED TO DESIGNER.

DRAWINGS ARE NOT TO BE COPIED OR REPRODUCED WITHOUT PERMISSION OF MOLLY CONLIN DESIGN & DRAFTING.

Drawings For:  
 SANDEMAN  
 800 CANAL RD.  
 DOURO-DUMMER, ON

Notes / Revisions:

Project: NEW BUILD

Title: ELEVATIONS

*MOLLY CONLIN*  
 design & drafting

FIRM NO: 10403  
 817 County Rd. 8  
 Douro, ON R1S 2K9  
 706-516-6810

SIGNATURE:

Designed By:  
 M. CONLIN

Date: JUNE, 2024

Scale: 1/4" = 1'-0"

Page: A6



north elevation

ALL CONSTRUCTION METHODS AS PER PART 9 OF THE O.B.C.

ALL TRADES TO HAVE MIN. FIVE YEARS EXPERIENCE IN THEIR RESPECTIVE DISCIPLINES.

ANY DEVIATION FROM THESE PLANS DURING THE BUILDING PROCESS MUST BE REPORTED TO THIS OFFICE TO ENSURE COMPLIANCE WITH THE ONTARIO BUILDING CODE, LATEST EDITION. FAILURE TO DO SO ABSOLVES THIS FIRM FROM RESPONSIBILITY AND LIABILITY. DRAWINGS ARE NOT TO BE SCALED.

ALL DIMENSIONS ARE TO BE CONFIRMED BY CONTRACTOR PRIOR TO ORDERING MATERIALS. ALL DISCREPANCIES ARE TO BE REPORTED TO DESIGNER.

DRAWINGS ARE NOT TO BE COPIED OR REPRODUCED WITHOUT PERMISSION OF HOLLY CONLIN DESIGN & DRAFTING.

Drawings For:  
 SANDEMAN  
 800 CANAL RD.  
 DOURO-DUMMER, ON

Notes / Revisions:

Project: NEW BUILD

Title: ELEVATIONS

*MOLLY CONLIN*  
 design & drafting

FIRM BC216 104403  
 917 County Rd. 8  
 Douro, ON L9L 2H0  
 708-318-6810

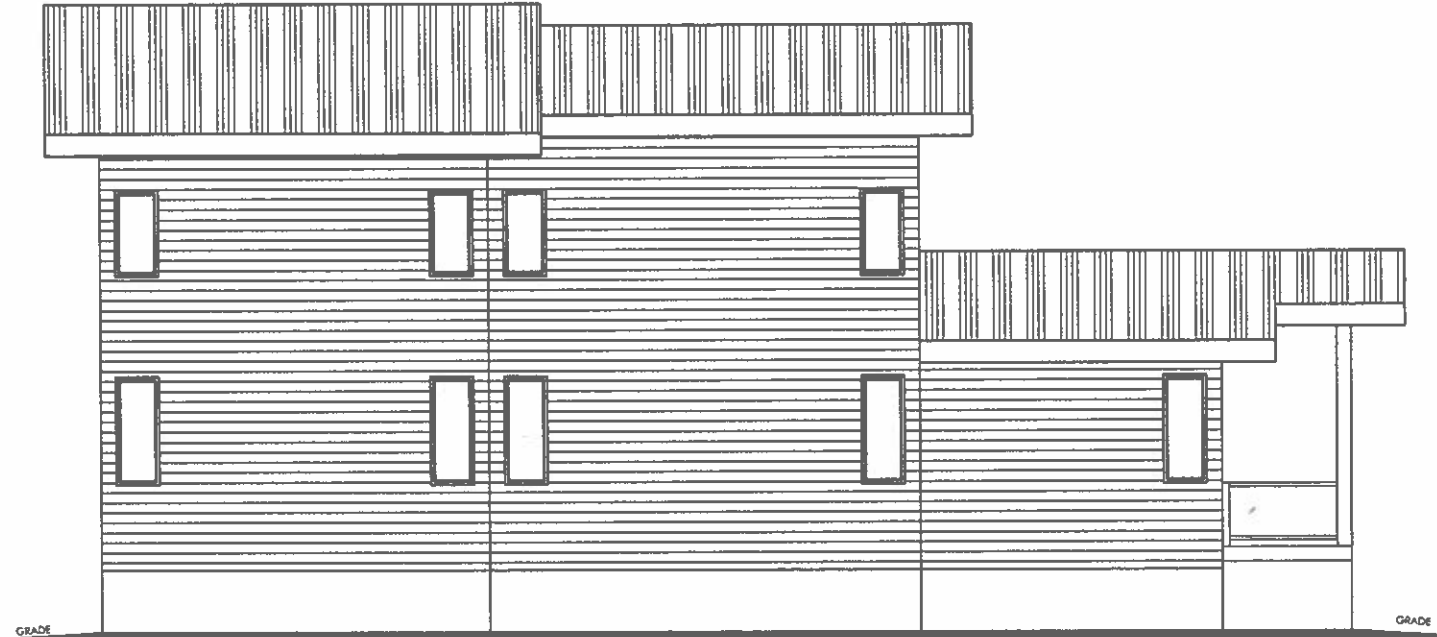
SIGNATURE:

Designed By:  
 M. CONLIN

Date: JUNE, 2024

Scale: 1/8" = 1'-0"

Page: A7



**east elevation**

ALL CONSTRUCTION METHODS AS PER PART 9 OF THE O.M.C.

ALL TRADES TO HAVE MIN. FIVE YEARS EXPERIENCE IN THEIR RESPECTIVE DISCIPLINES.

ANY DEVIATION FROM THESE PLANS DURING THE BUILDING PROCESS MUST BE REPORTED TO THIS OFFICE TO ENSURE COMPLIANCE WITH THE ONTARIO BUILDING CODE, LATEST EDITION. FAILURE TO DO SO ABSOLVES THIS FIRM FROM RESPONSIBILITY AND LIABILITY. DRAWINGS ARE NOT TO BE SCALED.

ALL DIMENSIONS ARE TO BE CONFIRMED BY CONTRACTOR PRIOR TO ORDERING MATERIALS. ALL DISCREPANCIES ARE TO BE REPORTED TO DESIGNER.

DRAWINGS ARE NOT TO BE COPIED OR REPRODUCED WITHOUT PERMISSION OF MOLLY CONLIN DESIGN & DRAFTING.

Drawings For:  
 SANDEMAN  
 800 CANAL RD.  
 DOURO-DUMMER, ON

Notes / Revisions:

Project:  
 NEW BUILD

Title:  
 ELEVATIONS

*MOLLY CONLIN*  
 design & drafting

Plan: 2024-06-10  
 819 County Rd. 8  
 Douro, ON M9B 2P9  
 706-313-8870

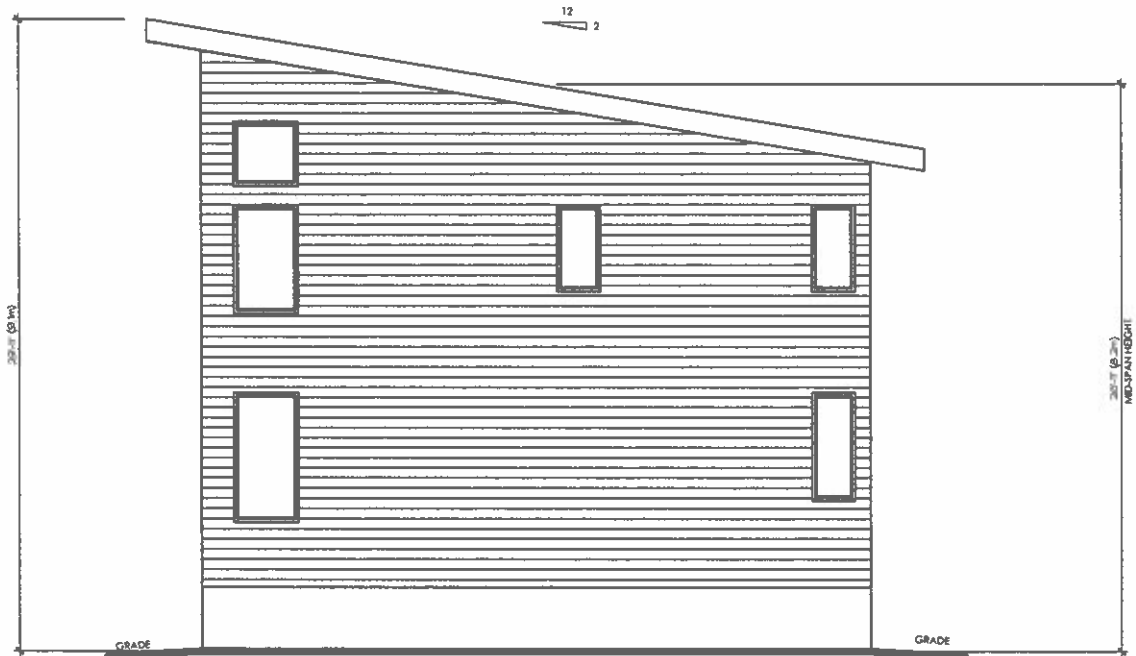
SIGNATURE:

Designed By:  
 M. CONLIN

Date:  
 JUNE, 2024

Page:  
 A8

Scale:  
 1/4" = 1'-0"



## south elevation

ALL CONSTRUCTION METHODS AS PER PART 9 OF THE O.B.C.

ALL TRADES TO HAVE MIN. FIVE YEARS EXPERIENCE IN THEIR RESPECTIVE DISCIPLINES.

ANY DEVIATION FROM THESE PLANS DURING THE BUILDING PROCESS MUST BE REPORTED TO THIS OFFICE TO ENSURE COMPLIANCE WITH THE ONTARIO BUILDING CODE, LATEST EDITION. FAILURE TO DO SO ABSOLVES THIS FIRM FROM RESPONSIBILITY AND LIABILITY. DRAWINGS ARE NOT TO BE SCALED.

ALL DIMENSIONS ARE TO BE CONFIRMED BY CONTRACTOR PRIOR TO ORDERING MATERIALS. ALL DISCREPANCIES ARE TO BE REPORTED TO DESIGNER.

DRAWINGS ARE NOT TO BE COPIED OR REPRODUCED WITHOUT PERMISSION OF MOLLY CONLIN DESIGN & DRAFTING.

Drawings For:  
 SAHLEMAN  
 800 CANAL RD.  
 DOURO-DUMMER, ON

Notes / Revisions:

Project: NEW BUILD

Title: ELEVATIONS

*Molly Conlin*  
 design & drafting

Reg. No: 19402  
 819 County St. S  
 Douro, ON M0 2N0  
 706-313-2510

SIGNATURE:

Designed By:  
 M. CONLIN

Date: JUNE, 2024

Scale: 1/4" = 1'-0"

Page:  
 A9



**From:** [CA - Circulations](#)  
**To:** [Christina Coulter](#)  
**Subject:** RE: R-13-24 (Sandeman)  
**Date:** October 15, 2024 3:15:41 PM  
**Importance:** Low

---



**Your E-mail was Received on:** Tuesday, October 15, 2024

**Thank you for your email on:** R-13-24 (Sandeman)

The information that municipalities provide to Bell Canada is instrumental to the provisioning of telecommunications infrastructure and we appreciate the opportunity to be proactively engaged in development applications and infrastructure and policy initiatives.

Bell Canada will provide a response should any comments / input be required on the information included in the circulation received. Bell Canada kindly requests that even if a specific comment is not provided at this time that you continue to circulate us at [circulations@wsp.com](mailto:circulations@wsp.com) on any future materials related to this development project or infrastructure / policy initiative so that we can continue to monitor its progress and are informed of future opportunities for engagement.

**1) Bell Canada Responses to Pre-Consultation & Complete Development Application Circulations:**

**Pre-consultation Circulations**

Please note that Bell Canada does NOT generally comment on pre-consultation circulations unless the information provided identifies that a future draft plan of subdivision, draft plan of condominium and/or site plan control application will be required to advance the development proposal.

**Complete Application Circulations & Recirculations**

Please note that Bell Canada does NOT generally comment on the following development applications - official plan and zoning by-law amendments, part lot control, temporary use and interim control by-laws. However, Bell Canada does generally comment on site plan approval, draft plans of subdivision and draft plan of condominium applications.

Bell Canada will generally comment on recirculations where the change modifies the proposed residential dwelling unit count and/or non-residential gross floor area in a draft plan of subdivision, draft plan of condominium and/or site plan control application.

**2) Bell Canada Responses to Infrastructure and Policy Initiative Circulations:**

If required, a follow-up email will be provided by Bell Canada to outline any input to be considered on the infrastructure / policy initiative circulation received at this time.

**Concluding Remarks:**

If you have any other specific questions, please contact [planninganddevelopment@bell.ca](mailto:planninganddevelopment@bell.ca) directly.

We note that WSP operates Bell Canada's development tracking system, which includes the intake and processing of municipal circulations. **However, all responses to circulations and requests for information, such as requests for clearance, will come directly from Bell Canada, and not from WSP.** WSP is not responsible for the provision of comments or other responses.

Should you have any questions, please contact the undersigned.

Yours Truly,



**Juan Corvalan**

**Bell Canada**

Senior Manager – Municipal Liaison

Network Provisioning

[planninganddevelopment@bell.ca](mailto:planninganddevelopment@bell.ca)

---

**From:** Christina Coulter <ccoulter@dourodummer.ca>  
**Sent:** Tuesday, October 15, 2024 7:12:43 PM  
**Cc:** Martina Chait-Hartwig <mchaithartwig@dourodummer.ca>  
**Subject:** R-13-24 (Sandeman)

Good Afternoon;

The Township is in receipt of a rezoning application File R-13-24 (Sandeman). A copy of the Notice of Complete Application and Public Meeting and Draft By-law are attached and will be mailed and posted on the [Township website](#) today.

Please provide your comments no later than 11:00 a.m. on Tuesday October 22, 2024.

Sincerely,  
Christina

Christina Coulter, B.Sc. (Hons)  
Planner, Township of Douro-Dummer  
705-652-8392 ext. 226

---

NOTICE: This communication and any attachments ("this message") may contain information which is privileged, confidential, proprietary or otherwise subject to restricted disclosure under applicable law. This message is for the sole use of the intended recipient(s). Any unauthorized use, disclosure, viewing, copying, alteration, dissemination or distribution of, or reliance on, this message is strictly prohibited. If you have received this message in error, or you are not an authorized or intended recipient, please notify the sender immediately by replying to this message, delete this message and all copies from your e-mail system and destroy any printed copies. You are receiving this communication because you are listed as a current WSP contact. Should you have any questions regarding WSP's electronic communications policy, please consult our Anti-Spam Commitment at [www.wsp.com/casl](http://www.wsp.com/casl). For any concern or if you believe you should not be receiving this message, please forward this message to [caslcompliance@wsp.com](mailto:caslcompliance@wsp.com) so that we can promptly address your request. Note that not all messages sent by WSP qualify as commercial electronic messages.

AVIS : Ce message, incluant tout fichier l'accompagnant (« le message »), peut contenir des renseignements ou de l'information privilégiés, confidentiels, propriétaires ou à divulgation restreinte en vertu de la loi. Ce message est destiné à l'usage exclusif du/des destinataire(s) voulu(s). Toute utilisation non permise, divulgation, lecture, reproduction, modification, diffusion ou distribution est interdite. Si vous avez reçu ce message par erreur, ou que vous n'êtes pas un destinataire autorisé ou voulu, veuillez en aviser l'expéditeur immédiatement et détruire le message et toute copie électronique ou imprimée. Vous recevez cette communication car vous faites partie des contacts de WSP. Si vous avez des questions concernant la politique de communications électroniques de WSP, veuillez consulter notre Engagement anti-pourriel au [www.wsp.com/lcap](http://www.wsp.com/lcap). Pour toute question ou si vous croyez que vous ne devriez pas recevoir ce message, prière de le transférer au [conformitelcap@wsp.com](mailto:conformitelcap@wsp.com) afin que nous puissions rapidement traiter votre demande. Notez que ce ne sont pas tous les messages transmis par WSP qui constituent des messages électroniques commerciaux.

-LAEmHhHzdJzBITWfs4Hgs7pbKI

**From:** [Sarah Dilamarter](#)  
**To:** [Christina Coulter](#); [Martina Chait-Hartwig](#)  
**Subject:** RE: R-13-24 (Sandeman)  
**Date:** October 18, 2024 12:52:14 PM  
**Attachments:** [image002.png](#)  
[image003.png](#)  
[image004.png](#)

---

Good afternoon,

Planning Staff have reviewed the notice and the surrounding areas with respect to the City's Zoning By-law and Official Plan. Planning staff have not identified any concerns with the application and therefore no comments are provided on behalf of the City of Peterborough.

Kind regards,

Sarah Dilamarter



**Sarah Dilamarter**

Junior Planner | Planning, Development and Urban Design  
City of Peterborough

[sdilamarter@peterborough.ca](mailto:sdilamarter@peterborough.ca) | 705-742-7777 ext. 1887

[peterborough.ca](http://peterborough.ca)



The City of Peterborough respectfully acknowledges that it is on the treaty and traditional territory of the Mississauga Anishinaabeg and offers its gratitude to the First Peoples for their care for, and teachings about, our earth and our relations. May those teachings be honoured.

---

**From:** Kelly Russelle <[KRusselle@peterborough.ca](mailto:KRusselle@peterborough.ca)>  
**Sent:** Tuesday, October 15, 2024 3:45 PM  
**To:** COP\_Planning <[COP\\_Planning@peterborough.ca](mailto:COP_Planning@peterborough.ca)>  
**Subject:** FW: R-13-24 (Sandeman)

---

**From:** Christina Coulter <[ccoulter@dourodummer.ca](mailto:ccoulter@dourodummer.ca)>  
**Sent:** October 15, 2024 3:13 PM  
**Cc:** Martina Chait-Hartwig <[mchaithartwig@dourodummer.ca](mailto:mchaithartwig@dourodummer.ca)>  
**Subject:** R-13-24 (Sandeman)

**[EXTERNAL EMAIL - use caution when clicking links and opening attachments]**

Good Afternoon;

The Township is in receipt of a rezoning application File R-13-24 (Sandeman). A copy of the Notice of Complete Application and Public Meeting and Draft By-law are attached and will be mailed and posted on the [Township website](#) today.

Please provide your comments no later than 11:00 a.m. on Tuesday October 22, 2024.

Sincerely,  
Christina

Christina Coulter, [B.Sc.](#) (Hons)  
Planner, Township of Douro-Dummer  
705-652-8392 ext. 226

#### **Disclaimer**

The information contained in this communication from the sender is confidential. It is intended solely for use by the recipient and others authorized to receive it. If you are not the recipient, you are hereby notified that any disclosure, copying, distribution or taking action in relation of the contents of this information is strictly prohibited and may be unlawful.

**From:** [Municipal Planning](#)  
**To:** [Christina Coulter](#)  
**Subject:** RE: R-13-24 (Sandeman)  
**Date:** October 18, 2024 3:17:01 PM

---

Thank you for your circulation.

Enbridge Gas does not object to the proposed application(s) however, we reserve the right to amend or remove development conditions. This response does not signify an approval for the site/development.

Please always call before you dig, see web link for additional details:  
<https://www.enbridgegas.com/safety/digging-safety-for-contractors>

Please continue to forward all municipal circulations and clearance letter requests electronically to [MunicipalPlanning@Enbridge.com](mailto:MunicipalPlanning@Enbridge.com).

Regards,

**Willie Cornelio** CET (he/him)  
Sr Analyst, Municipal Planning  
**Engineering**

**ENBRIDGE**  
TEL: 416-495-6411  
500 Consumers Rd, North York, ON M2J1P8  
[enbridge.com](http://enbridge.com)  
**Safety. Integrity. Respect. Inclusion.**

---

**From:** Christina Coulter <ccoulter@dourodummer.ca>  
**Sent:** Tuesday, October 15, 2024 3:13 PM  
**Cc:** Martina Chait-Hartwig <mchaithartwig@dourodummer.ca>  
**Subject:** [External] R-13-24 (Sandeman)

**CAUTION! EXTERNAL SENDER**

Were you expecting this email? TAKE A CLOSER LOOK. Is the sender legitimate?  
DO NOT click links or open attachments unless you are 100% sure that the email is safe.

Good Afternoon;

The Township is in receipt of a rezoning application File R-13-24 (Sandeman). A copy of the Notice of Complete Application and Public Meeting and Draft By-law are attached and will be mailed and posted on the [Township website](#) today.

Please provide your comments no later than 11:00 a.m. on Tuesday October 22, 2024.

Sincerely,  
Christina



Christina Coulter, B.Sc. (Hons)  
Planner, Township of Douro-Dummer  
705-652-8392 ext. 226

**From:** [Ian Dyck](#)  
**To:** [Christina Coulter](#)  
**Subject:** RE: R-13-24 (Sandeman)  
**Date:** October 16, 2024 10:17:25 AM

---

Hi Christina,  
Hope you had a good thanksgiving!  
Here's our comments below.  
Ian

Thank you for circulating the application for R-13-24.  
Kawartha Pine Ridge District School Board (KPR) has reviewed the application; and has not identified any concerns or issues related to our mandate with the proposed application.  
Please accept this as a formal response from Kawartha Pine Ridge District School Board.  
Thank you for the opportunity to comment.  
Have a good day,

Ian Dyck  
Planning GIS Technician  
Planning Services  
Kawartha Pine Ridge District School Board

---

**From:** Christina Coulter <[ccoulter@dourodummer.ca](mailto:ccoulter@dourodummer.ca)>  
**Sent:** Tuesday, October 15, 2024 3:13 PM  
**Cc:** Martina Chait-Hartwig <[mchaithartwig@dourodummer.ca](mailto:mchaithartwig@dourodummer.ca)>  
**Subject:** R-13-24 (Sandeman)

You don't often get email from [ccoulter@dourodummer.ca](mailto:ccoulter@dourodummer.ca). [Learn why this is important](#)

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good Afternoon;

The Township is in receipt of a rezoning application File R-13-24 (Sandeman). A copy of the Notice of Complete Application and Public Meeting and Draft By-law are attached and will be mailed and posted on the [Township website](#) today.

Please provide your comments no later than 11:00 a.m. on Tuesday October 22, 2024.

Sincerely,  
Christina

Christina Coulter, B.Sc. (Hons)

Planner, Township of Douro-Dummer  
705-652-8392 ext. 226



October 18<sup>th</sup> 2024

Christina Coulter  
Planner  
Township of Douro-Dummer  
894 South Street, P.O. Box 92,  
Warsaw Ontario, K0L 3A0

Dear Christina Coulter,

**RE: R-13-24, Deborah Sandeman / Holly Richards-Conley (Blackpoint Construction Services), 800 Canal Road, Township of Dour-Dummer, Roll # 1522 010 005 24400; ORCA file: PPLD-2333**

The Otonabee Region Conservation Authority (Otonabee Conservation) has received the circulation for a Zoning By-law Amendment for the above noted property on October 15<sup>th</sup> 2024. Otonabee Conservation staff have reviewed the information in accordance with our mandate and policies and offer the following comments.

The purpose of the above noted application is to construct a two-storey single detached dwelling with a ground floor area of approximately 134 square metres (1445.49 square feet) and a gross floor area of approximately 223 square metres (2403.90 square feet). Due to the smaller size of the subject property and the design of the septic system, the proposed development cannot meet the minimum front, rear and side yard requirements. In addition, the proposed dwelling will exceed the maximum first story floor area, lot coverage and height requirements. Lastly, the rezoning will identify the existing lot area of the subject lands.

The effect of the amendment is to permit the construction of a single detached dwelling and related private services (well and septic) with the following Special District 155 Zone (S.D. 155) which will be amended as follows:

---

250 Milroy Drive, Peterborough ON K9H 7M9  
P: 705-745-5791 F: 705-745-7488  
otonabeeca@otonabeeconservation.com  
**otonabeeconservation.com**

- Section 21.155.2 (a): to decrease the minimum lot area from 768 m<sup>2</sup> to 766 m<sup>2</sup>;
- Section 21.155.2 (d): to decrease the minimum rear yard setback from 11 m to 4 m;
- Section 21.155.2 (f): to increase the maximum first storey floor area from 58 m<sup>2</sup> to 134.3 m<sup>2</sup>; Section 21.155.2 (g): to increase the maximum lot coverage from 7.5% to 17.51%;
- Section 21.155.2 (h): to increase the maximum height from 9 m to 9.1 m;
- Section 21.155.2 (i): to decrease the minimum setback for a septic system from a public road from 15 m to 6 m (3.1.2 (d));
- Section 21.155.2 (j): to decrease the minimum south side yard setback from 6 m to 1.5 m; and
- Section 21.155.2 (k): to decrease the minimum north side yard setback from 6 m to 5 m.

Otonabee Conservation's interest in this application is four-fold:

1. *Otonabee Conservation has reviewed this application through our delegated responsibility from the Province to represent provincial interests regarding natural hazards identified in any policy statement or provincial plan issued under the Planning Act.*

Otonabee Conservation mapping indicates that the proposed development is not located within a known natural hazard. **Therefore, it is the opinion of Otonabee Conservation that the application is consistent with Section 3.1 of the Provincial Policy Statement (PPS), referencing Natural Hazards.**

2. *Provincial policies dictate that development shall not create new or aggravate existing natural hazards. Otonabee Conservation has reviewed this application through our mandated responsibility under Ontario Regulation 686/21 and provide the following comments, technical support or information, and advice.*

**This application is not creating new or proposing to aggravate existing natural hazards.**

3. *Otonabee Conservation has reviewed the application through a regulatory lens. Ontario Regulation 41/24 prohibits any development, interference with, or alteration within a flooding hazard, erosion hazard, hazardous lands, watercourse, wetland and/or their adjacent lands/areas of interference unless a permit has been issued by Otonabee Conservation under Section 28 of the Conservation Authorities Act.*



Otonabee Conservation mapping indicates that the lands are partially subject to Ontario Regulation 41/24 Otonabee Conservation's "Prohibited Activities, Exemptions and Permits" regulation. **Permits from this agency may be required prior to any site alteration or construction in those areas regulated by Otonabee Conservation.**

4. *Otonabee Conservation has reviewed the application to assess the applicability of the Trent Source Protection Plan (SPP) prepared under the Clean Water Act (CWA). The SPP came into effect on January 1, 2015, and contains policies to protect sources of municipal drinking water from existing and future land use activities that pose a significant drinking water threat.*

**It was determined that the subject property is not located within a vulnerable area that is subject to SPP policies.** The subject property is located within the vulnerable area(s) listed below. Significant drinking water threats are not possible and a Restricted Land Use Notice is not required.

- Intake Protection Zone 3

If you have any questions, please do not hesitate to call.

Yours truly,



Marnie Guindon  
Planning and Regulations Officer

## Birchcliff Property Owners Association

Oct 22, 2024

Ms. Lois Wallace  
Shoreline Conservation Committee  
Environment Council for Clear, Ston(e)y and White Lakes

Dear Lois,

As you know, the BPOA is an association of property owners on Birchview Road and feeder roads that stretches from Highway 28 to McCracken's Landing. There are more than 200 properties along this road, and we have approximately 80 active members. BPOA has long supported the work done by the Environment Council.

Maintaining healthy shorelines is crucial to the health of our lakes, maintaining water quality and protecting habitat for aquatic and land-based wildlife. In recent years, we have seen an increase in both invasive aquatic plants and algae. Unfortunately, we have even experienced toxic algae blooms (blue-green algae) which is a frightening situation. We are quite concerned by the number of lakefront property owners who are altering their shorelines in a negative way and we encourage our members to work with shoreline naturalization projects and we need more people to participate.

With increasing development along our shoreline, it is crucial that local and municipalities take an active role in implementing and managing a shoreline protection policy. This would involve setting policy to restrict shoreline changes, including protection of trees and vegetation on property close to the shoreline.

We are happy to support you in your delegation to Douro-Dummer on this timely and crucial topic. In a recent membership survey this spring BPOA members identified shoreline protection as one of the two most important areas of concern.

Please let us know if there is anything further that we can do to assist you in this area.

On behalf of the BPOA membership,

Murray Miskin  
President, BPOA

Murray H. Miskin, B.A., J.D.  
Lawyer, Arbitrator and Mediator  
Miskin Law Professional Corporation  
100-351 Charlotte St.  
Peterborough ON  
Canada K9J 2W1  
705-755-7363 Ext. 111  
[www.miskinlaw.ca](http://www.miskinlaw.ca)  
[www.adrworks.ca](http://www.adrworks.ca)

Deputation to Douro-Dummer Council  
November 5, 2024

Protecting the Kawartha Lakes'  
Health and Value

The Shoreline Conservation Initiative  
A Committee of the  
Environment Council for Clear, Stoney and White Lakes

Presenting today: Roz Moore , Lois Wallace

## Importance and Benefits of Natural Shorelines

Shorelines and shorelands defined as first 30 meters back from water's edge  
... "the riparian zone"

- protects surface and ground water quality
- slows growth of aquatic 'weeds' and algae
- protects fish and wildlife habitat
- protects against and reduces erosion and impacts of climate change- extreme weather events, drought, heavy rainstorms, damaging winds
- maintains long-term property values and municipal tax base
- strengthens the lake-based economy

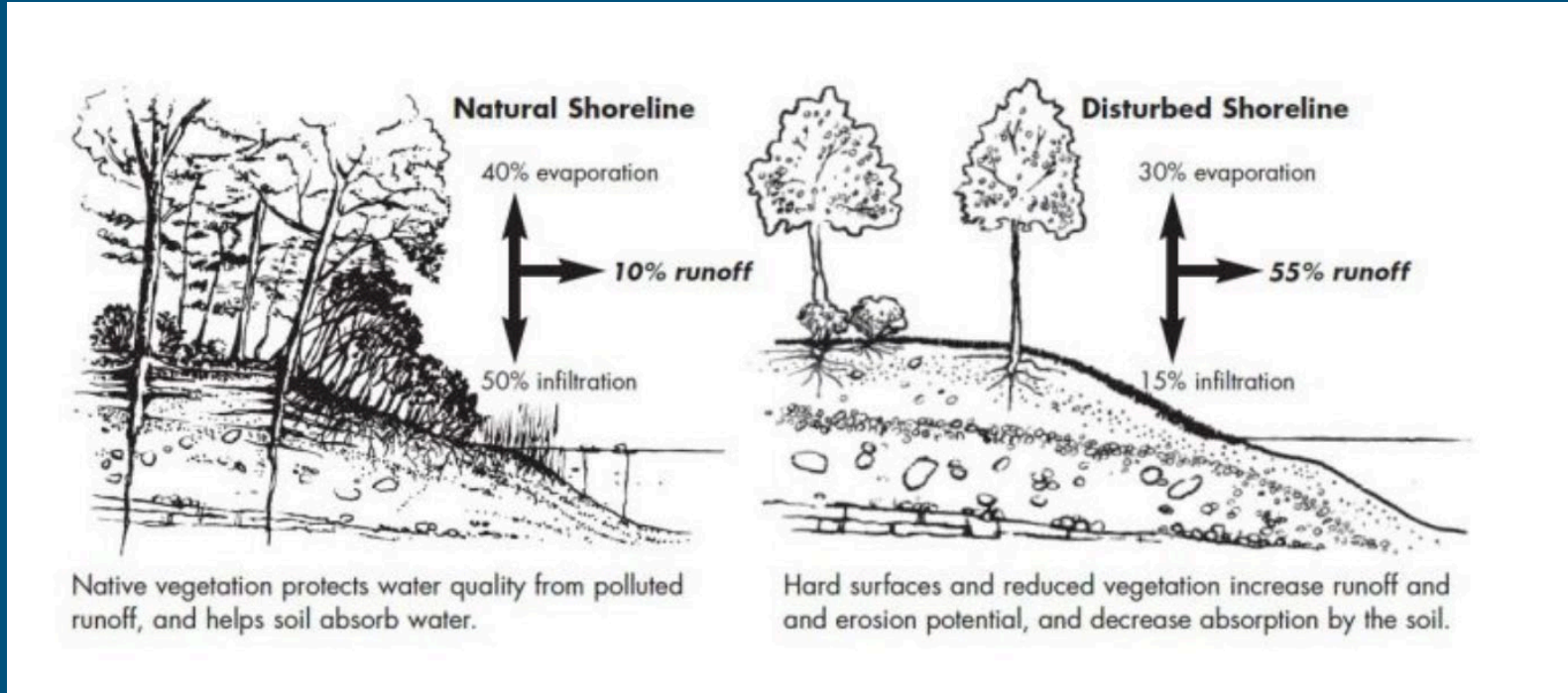
# Natural or Altered ?

---

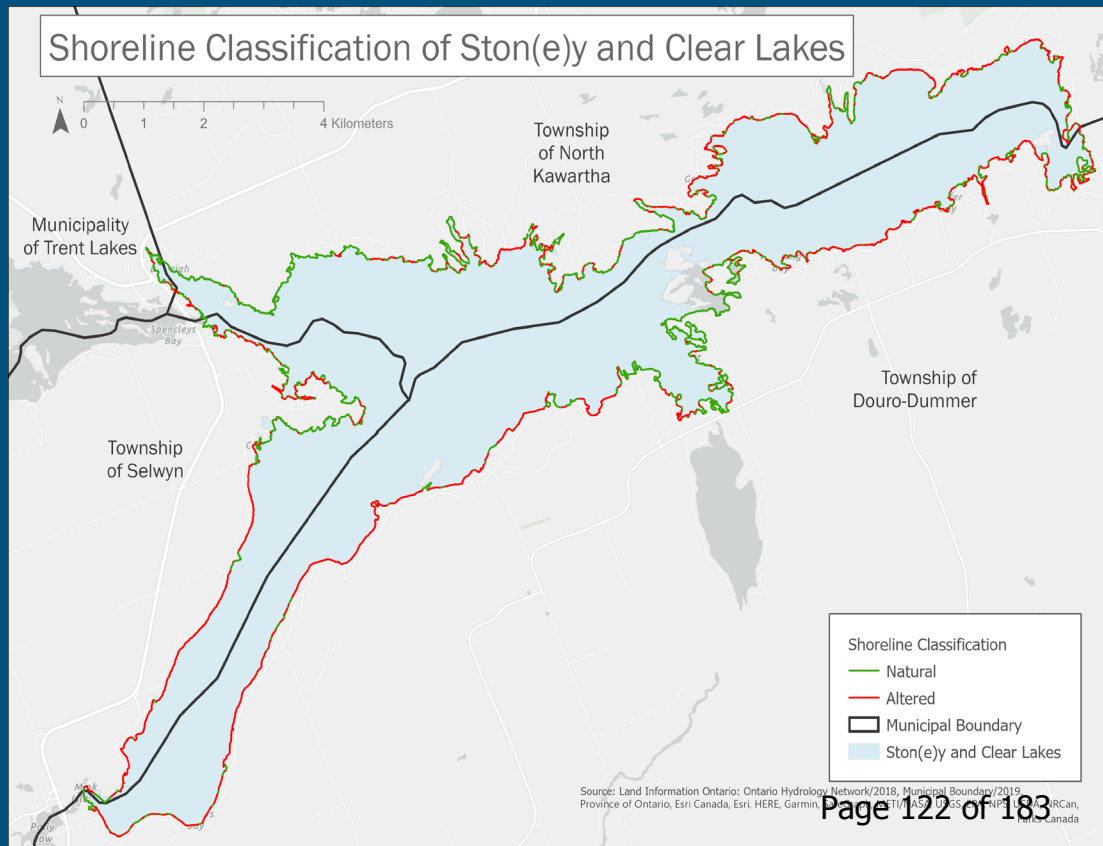
- **Natural shorelines** include undisturbed vegetation- grasses, shrubs and trees, wetlands, marshes, water inlets and undisturbed soils in the 30 meter setback zone...protect water quality and stabilize soil to reduce runoff
- **Altered shorelines** include removal of natural features, stripping of soil, grading and filling, creation of stone walls, lawns, sand beaches, large docking and boat launch areas



# Natural Shorelands protect water quality, require no maintenance and are drought resistant



# Assessment of shorelines - natural and altered



## **Project Goal:**

Collection and mapping of satellite and ground-truthed data to identify natural and altered features on our lakes for preservation and restoration purposes

## **Mapping project partners:**

Environment Council, Kawartha Land Trust, 3 Fleming College GIS students (credit for product)  
2 summer students – (short-term employment), community support

## **Consultants:**

MNRF GIS Specialists- Sylvia Strobl, Steve Voros,  
Ptbo. County Director of GIS Dept.- Tammy Sikma

Some development.....

...destroys shorelands by  
removing most, if not all  
of natural vegetation zone



# Growing Support for Shorelands Regulation

- **"*The Future of Our Shores*"** Ontario region survey found that **"More comprehensive coverage of shoreland protection in Official Plans and Zoning By-laws is required"**.
- This year 300+ families donated over 1.5 million to protect natural shoreline and forest on Stony Lake.... A clear sign that lake residents value natural lake shorelines
- **Cottage associations in Douro Dummer** support the need for shoreland protection and regulation:
  - Stony Lake (ASLC)      - Upper Stoney (USLA)
  - Birchcliff ( BPOA)      - White Lake (WLCA)

# Do We Have Strong Enough Tools for Lake Protection at Present?

---

1. A quick answer ... Not yet!
2. Existing policy, plans and by-laws are inadequate.
3. Education alone is insufficient.



# What's Needed?

- 1 - Stronger shoreline protection of shoreline vegetation and landscape on individual waterfront properties where most damage occurs.
- 2 - Keep the 30 m. setback requirement in the County/township Official Plan and in your Comprehensive Zoning by-law
- 3 - Township by-law regulation and enforcement to protect trees, other natural vegetation and the natural landscape in 75% of shorelands (Environment Canada guidelines) within the riparian setback zones
- 4 - Maximize Township protection under new provincial policy:  
**Provincial Policy Statement 2024, Chapter 4 Section 2; *Wise use and Management of Resources*** (natural heritage and water) and ,  
**Planning Act Sub Section 41(1.2), Ontario regulation 254/23** allow site plan control to be applied to all properties within 120 meter of watercourse



# Current examples of Municipal Regulations

---

**Haliburton :** *Shoreline Preservation By-Law* , 2023

**Muskoka Lakes:** *Tree Preservation and Site Alteration by-laws*, 2008, updated 2022

**Georgian Bay:** *Tree Cutting and Site Alteration By-laws* 2014

**Innisfil :** *Community Planning Permit By-law*, 2017

**Lake of Bays:** *Development Permit By-law*, April 2024

**Rideau Lakes:** *Vegetated Shoreline Buffer Policy*, 2019

# Call to Action

- **Shoreline damage is increasing ... Township protection is urgently required**

- **Immediate action:**

- Pass a motion today recognizing the need for new, stronger shoreline regulation, and asking staff to recommend to Council an effective regulatory approach for protecting all residential essential shorelines - (a Shoreline Preservation By-law)

- **Other supporting measures:**

- Revise your Site Plan Control By-law to apply to all waterfront properties
- Include protection of natural shorelines in the Action Plan to support your Strategic Plan
- Keep and strictly enforce the 30 m setback zone. For rebuilds, require that new structures be moved back from the water 30 m or as far as the lot will allow. Require naturalization of 75% of the new setback area

# Conclusion

---

- Funding for additional planning and enforcement resources will be required
- Now is an opportune time to budget for the work of developing and implementing regulation
- Waterfront properties provide 1/3 of the Township's tax base
- More of this revenue is required to protect lake health including humans, fish, wildlife and natural vegetation
- Healthy lakes are one of the Township's most valuable economic assets



October 21, 2024

To the Douro-Dummer Council,

Dear Council Members,

On behalf of the Upper Stoney Lake Association (USLA), and our 338 member families, I am writing to express our strong support for the implementation of new bylaws to protect natural shorelines within the Douro-Dummer Township. As stewards of Stoney Lake's fragile ecosystem, we believe these measures are essential for safeguarding the health of the lake, which benefits both residents and visitors alike.

We understand that the Shoreline Conservation Initiative Committee has previously presented to Council and is scheduled to do so again this November. We commend their ongoing efforts to protect the natural shorelines and highlight the crucial role these play in maintaining water quality and ecosystem balance.

The health of our shorelines directly impacts water quality, fish habitats, and the overall biodiversity of the lake. When natural shorelines are eroded or replaced with hardened surfaces, pollutants and nutrients like phosphorus and nitrogen flow more easily into the water, resulting in algae blooms, degraded fish habitats, and water quality issues. Conversely, shorelines that are preserved or restored with native plants provide natural filtration, protect against erosion, and support both land-based and aquatic wildlife.

As the pace of redevelopment increases, it becomes more urgent to address the loss of natural shorelines. We encourage the Council to implement strong protections, ensuring that future development is balanced with the preservation of these critical natural areas.

We stand in support of the recommendations presented by the Shoreline Conservation Initiative Committee and urge Council to act promptly in developing and adopting bylaws that prioritize the long-term health of our shared water resources.

Thank you for your attention to this important matter.

Regards,

Jocelyn Wyatt  
President  
Upper Stoney Lake Association

David Nolan  
Environment Committee Leader  
Upper Stoney Lake Association

WHITE LAKE COTTAGE ASSOCIATION

DOURO-DUMMER ONTARIO

October 23, 2024

Lois Wallace

Shoreline Conservation Committee Environment Council for Clear, Stoney and White Lakes

Dear Lois,

As you know our association represents its members on White Lake and currently has approximately 60 members. The number of properties on our lake comprises of both cottage and permanent residents. (Approximately 250+ properties) We are active in promoting community functions, activities that bring our members together and supplying information on issues that concern our lake in particular environmental ones.

At each of our meetings we have in our agenda, included a presentation from our Environment Council representative to present concerns and information from the Council and keep our members up dated on environmental issues throughout the region. One such concern recently has been Shoreline Restoration. We attempt to provide our members with as much information as we can and to date interest has been growing with one of our members having taken advantage of the shoreline issue to have her property reviewed and upgraded.

We are a small association compared to others in our area and additional efforts from our local municipality would certainly benefit that our lake remains vibrant, safe and healthy for future generations. Promoting and supplying additional information and encouraging programs such as a shoreline restoration policy to all property owners on our lake is something the municipality should support. Its implementation would certainly have an impact.

If there is anything we can do to assist in the lobby efforts of the Environment Council, please advise us and hopefully we can provide the support you require.

Thank you,

Bill Herman, Vice President

WLCA

Tel: [REDACTED]

# Township of Douro-Dummer

## Report and Capital Project Status

- Directed by Council and/or CAO
- Directed by the Province/legislation
- Directed by an Agency
- New items and updates are highlighted in Yellow

### Report Status

Department	Date Requested	Directed By	Resolution/Direction	Est. Report Date
Corporate	May 3, 2022	Council	Future Gravel Resources	2024
Finance/Clerk	February 21, 2023	Council	Policy to allow for multi-year budgets	Summer 2024
<del>Planning</del>	<del>June 7, 2022</del>	<del>Council/Province</del>	<del>Bill 109 – Update to Site Plan Control By-law, Create Pre-Consultation By-law, ensure the language in Official Plan allows for Peer Review as part of Complete Application</del>	Report no Longer needed as recent Provincial legislation has removed these requirements.
Public Works/CAO	March 7, 2023	Council	Indacom Drive Lot 3	Deferred Pending Budget
Planning	March 19, 2024	Council	ZBA – Setback for Septic System and remove from list of structures	Complete
Corporate	April 16, 2024	Council	Approval of Strategic Plan	Complete



Finance	June 4, 2024	Council	Funds for Asphodel-Norwood Medical Centre for 2024 and 2025	Complete
Finance	June 18, 2024	Council	Donation of \$300.00 to Curve Lake First Nation Pow Wow	Completed
Building	June 4, 2024	Council	Report regarding Septic Re-Inspection Program	Fall 2024
Planning	September 3, 2024	Council	Report regarding new Provincial Planning Statement	Complete

## Capital Project Status

Department	Capital Project List	Status
Clerk/C.A.O.	Enbridge Franchise Renewal Agreement	Ongoing
Clerk	Agreement with AMO for the Canada Community-Building Fund	Complete
Finance	Development Charges By-law	Complete
Fire	Douro Station Reconfiguration	Complete
Fire	Master Fire Plan & Community Risk Assessment	Complete
Fire	Station 1 Building Review and Drawings	Due 2024
Fire	Station 2 Parking Lot Resurfacing – Paving	Complete
Fire	Boat 4 – Trailered Boat	Complete
By-law Enforcement	Truck Purchase	Complete
General Government	New Sloped Roof – Town Hall	Under Investigation

General Government	Asset Management Plan	Complete
General Government	Computer Modernization	Ongoing
General Government	Finance Modernization	In progress – will continue into 2024 - New Payroll Module in place – Jan 2023
General Government	Development Charge Study	Complete
General Government	Computer IT Hardware Replacements	Due 2024
General Government	Tree Program	Complete
General Government	Storage Room Exterior Door Replacement	Due 2024
Parks and Recreation	Parks and Rec Master Plan – Implementation	On hold due to Covid-19
Parks and Recreation	Windows in Harvest Room	Complete
Parks and Recreation	Lime Kiln Restoration – 2022 Budget	Spring 2023
Parks and Recreation	Consultant Fees – Arena Facilities Future Ad-Hoc Committee	Fall 2023
Parks and Recreation	Compressor Replacement Reserve Contribution	Complete

Parks and Recreation	New Park Trailer	Complete
Parks and Recreation	30Hp Compressor Replacement	Complete
Parks and Recreation	Roof Repair	Complete
Parks and Recreation	Energy Audit	In progress
Parks and Recreation	New Players Benches at Douro Park	Complete
Planning	Zoning By-Law Update	On hold until Province Approves OP
Public Works	Gravel Pit Purchase	Ongoing
Public Works	Brushing Unit	RFP Awarded – waiting on delivery
Public Works	Plow Truck	RFP Awarded – 2025 Delivery

**Recommendation:**

That the Treasurer-2024-23 report, dated November 5, 2024, regarding the 2025 Budget Update – Schedule and Policing Costs be received and that the budget schedule, including the three special meetings in January and the final Draft presentation on March 4, 2025 be approved; and

That Council provide direction to staff whether the budget should be presented at inflation, which is 1.6% in September, including the OPP increases or if the OPP increase should be in addition to inflation.

**Overview:**

***Budget Schedule:***

Council adopted a 2025 budget schedule in June. This schedule was set with the assumption that the Township’s new CAO would be in place in August and then be able to participate in the process. Todd Davis, the new CAO, did not start with the Township until October 21<sup>st</sup>. Therefore, staff are proposing to push the budget process back to allow for sufficient time for Mr. Davis to learn about the organization and participate in the process. The extended timeline will also allow for the Finance Department to finish 2023 year-end and audit.

The following schedule shows the proposed and current schedule for the 2025 Budget:

<b>Council Presentations and Public Meetings</b>		
<b><i>Proposed</i></b>	<b><i>Current</i></b>	
<i>December 23</i>	November 22	Issue Budget Document
<i>January 15 @ 10am</i>	November 27 @ 10am	Presentation of first draft to Council – Part 1
<i>January 16 @ 10am</i>	November 28 @ 10am	Presentation of first draft to Council – Part 2  We will split the departments up between these first two presentations. In the past we suggested to Council to wait to ask questions but given we are splitting the departments Council is encouraged to ask questions during these meetings.
<i>January 23 @ 10am</i>	December 11 @ 10am	First Draft Working Session  Staff received feedback after the 2023 Budget process that a longer meeting was required to have in depth conversations on the budget. This meeting will allow Council to bring any questions they have for staff; however, Council is still encouraged to provide the questions prior to the meeting to enable staff to gather information need to answer sufficiently.

<i>February 4 (at start of Council)</i>	January 8 (Special Meeting)	Public Meeting – The Treasurer will make a 15-20-minute presentation summarizing the budget along with highlighting the key changes and projects. The presentation will include any updates to the budget that were made during the first three meetings. The Public will be able to attend and provide any feedback during this time.
<i>February 18 (during Council)</i>	January 21 (during Council)	Budget Deliberation – this meeting will be for Council to deliberate the budget while considering any feedback the public provided during the public meeting.
<i>March 4 (during Council)</i>	February 4 (during Council)	Final Draft and Budget Passage

**2025 OPP Costs:** Township staff received the 2025 annual billing statement from the OPP. The total billing for 2025 is \$1,145,376 which is \$191,305 more than 2024 billing. This represents a 20% increase in annual policing costs from 2024 and will increase the Township's levy by 2.78%.

The Township has not received any communication from the OPP prior to receiving the billing statement and we have not received a detailed breakdown of why the increase is occurring. We can assume it is related to settlements related to collective bargaining agreements and Bill 124 that limited public sector workers' compensation increases to a maximum of one per cent a year for three years and was found to be unconstitutional.

The OPP had scheduled webinars to explain the billing statement for October 25<sup>th</sup> and 28<sup>th</sup> but postponed these meetings at the last minute. Communities across the Province have received increases from 15-35%.

Township staff proposed to provide the 2025 Budget to Council at September CPI which was 1.6%. If staff include the OPP increase in the target, there will be a required 1.18% decrease in other Township costs when there are still rising costs and other identified priorities for the Township to address. Therefore, staff need direction from Council on the target moving forward.



**Conclusion:**

The updated budget will allow Township staff to provide a comprehensive budget to Council. We will update meeting invites for Council and begin advertising the meeting dates if approved by Council.

**Financial Impact:**

N/A

**Service Modernization and Innovation**  
Modernizing, refining and innovating services for residents is essential to effectively meet the needs of our community, enhance our operational efficiency, and ensure we remain adaptable in a rapidly changing world.

**Business Attraction, Expansion, and Retention**  
Business attraction, expansion, and retention is vital for the economic health and sustainability of our Township, such as job creation, tax revenue, investing in innovation, maintaining our quality of life, and supporting community stability.

**Infrastructure Renewal**  
Infrastructure renewal is a critical investment for our Township as it will ensure our adherence to health and safety, economic development, investment attraction, environmental sustainability, quality of life, public confidence, and regional competitiveness.

**Report Approval Details**

Document Title:	2025 Budget Update - Schedule and Policing Costs.docx
Attachments:	
Final Approval Date:	Oct 30, 2024

This report and all of its attachments were approved and signed as outlined below:

Martina Chait-Hartwig

Todd Davis

Ontario  
Provincial  
Police

Police  
provinciale  
de l'Ontario



**Municipal Policing Bureau**  
**Bureau des services policiers des municipalités**

777 Memorial Ave.  
Orillia ON L3V 7V3

777, avenue Memorial  
Orillia ON L3V 7V3

Tel: 705 329-6140  
Fax: 705 330-4191

Tél. : 705 329-6140  
Télééc.: 705 330-4191

File Reference:

612-20

October 4, 2024

Dear Mayor/Reeve/CAO/Treasurer,

Please find attached the OPP municipal policing 2025 Annual Billing Statement package.

This year's billing package includes a statement for the 2023 year-end reconciliation. The final cost adjustment calculated as a result of the 2023 annual reconciliation has been included as an adjustment to the amount being billed to the municipality during the 2025 calendar year.

The final reconciliation of the 2025 annual costs will be included in the 2027 Annual Billing Statement.

For more detailed information on the 2025 Annual Billing Statement package please refer to the resource material available on the internet, [www.opp.ca/billingmodel](http://www.opp.ca/billingmodel). Further, the Municipal Policing Bureau will be hosting a webinar information session in October/November. An e-mail invitation will be forwarded to the municipality advising of the session date.

If you have questions about the Annual Billing Statement please e-mail [OPP.MPB.Financial.Services.Unit@OPP.ca](mailto:OPP.MPB.Financial.Services.Unit@OPP.ca).

Yours truly,

A handwritten signature in black ink, appearing to read "Steve Ridout", written in a cursive style.

Steve Ridout  
Superintendent  
Commander,  
Municipal Policing Bureau

## OPP 2025 Annual Billing Statement

### Douro-Dummer Tp

Estimated costs for the period January 1 to December 31, 2025

Please refer to [www.opp.ca](http://www.opp.ca) for 2025 Municipal Policing Billing General Information summary for further details.

			<u>Cost per Property \$</u>	<u>Total Cost \$</u>
<b>Base Service</b>	<b>Property Counts</b>			
	Household	3,743		
	Commercial and Industrial	<u>90</u>		
	Total Properties	<u><u>3,833</u></u>	189.44	726,107
<b>Calls for Service</b>	(see summaries)			
	Total all municipalities	209,489,870		
	Municipal portion	0.1437%	78.51	300,938
<b>Overtime</b>	(see notes)		8.15	31,242
<b>Prisoner Transportation</b>	(per property cost)		1.67	6,401
<b>Accommodation/Cleaning Services</b>	(per property cost)		<u>5.70</u>	<u>21,848</u>
<b>Total 2025 Estimated Cost</b>			<u><u>283.47</u></u>	<u>1,086,536</u>
<b>2023 Year-End Adjustment</b>	(see summary)			58,839
<b>Grand Total Billing for 2025</b>				<u><u>1,145,376</u></u>
<b>2025 Monthly Billing Amount</b>				<b>95,448</b>

## OPP 2025 Annual Billing Statement

### Douro-Dummer Tp

Estimated costs for the period January 1 to December 31, 2025

#### Notes to Annual Billing Statement

- 1) Municipal Base Services and Calls for Service Costs - The costs allocated to municipalities are determined based on the costs assigned to detachment staff performing municipal policing activities across the province. A statistical analysis of activity in detachments is used to determine the municipal policing workload allocation of all detachment-based staff as well as the allocation of the municipal workload between base services and calls for service activity. For 2025 billing purposes the allocation of the municipal workload in detachments has been calculated to be 50.7 % Base Services and 49.3 % Calls for Service. The total 2025 Base Services and Calls for Service cost calculation is detailed on the Base Services and Calls for Service Cost Summary included in the municipal billing package.
- 2) Base Services - The cost to each municipality is determined by the number of properties in the municipality and the standard province-wide average cost per property of \$189.44 estimated for 2025. The number of municipal properties is determined based on MPAC data. The calculation of the standard province-wide base cost per property is detailed on Base Services and Calls for Service Cost Summary included in the municipal billing package.
- 3) Calls for Service - The municipality's Calls for Service cost is a proportionate share of the total cost of municipal calls for service costs calculated for the province. A municipality's proportionate share of the costs is based on weighted time standards applied to the historical billable calls for service. The municipality's total weighted time is calculated as a percentage of the total of all municipalities.
- 4) Overtime - Municipalities are billed for overtime resulting from occurrences in their geographic area and a portion of overtime that is not linked specifically to a municipality, such as training. Municipalities are not charged for overtime identified as a provincial responsibility. The overtime activity for the calendar years 2020, 2021, 2022, and 2023 has been analyzed and averaged to estimate the 2025 costs. The costs incorporate the estimated 2025 salary rates and a discount to reflect overtime paid as time in lieu. The overtime costs incurred in servicing detachments for shift shortages have been allocated on a per property basis based on straight time. Please be advised that these costs will be reconciled to actual 2025 hours and salary rates and included in the 2027 Annual Billing Statement.
- 5) Court Security and Prisoner Transportation (CSPT) - Municipalities with court security responsibilities in local courthouses are billed court security costs based on the cost of the staff required to provide designated court security activities. Prisoner transportation costs are charged to all municipalities based on the standard province-wide per property cost. The 2025 costs have been estimated based on the 2023 activity levels. These costs will be reconciled to the actual cost of service required in 2025.  
  
There was no information available about the status of 2025 Court Security Prisoner Transportation Grant Program at the time of the Annual Billing Statement preparation.
- 6) Year-end Adjustment - The 2023 adjustment accounts for the difference between the amount billed based on the estimated cost in the Annual Billing Statement and the reconciled cost in the Year-end Summary. The most significant year-end adjustments are resulting from the cost of actual versus estimated municipal requirements for overtime, contract enhancements and court security.

**OPP 2025 Estimated Base Services and Calls for Service Cost Summary**

Estimated Costs for the period January 1, 2025 to December 31, 2025

Salaries and Benefits	Positions	Base		Total Base Services and Calls for Service	Base Services	Calls for Service	
		FTE	%				\$/FTE
<b>Uniform Members</b>	<b>Note 1</b>						
Inspector		26.56	100.0	187,318	4,975,177	4,975,177	-
Staff Sergeant-Detachment Commander		8.60	100.0	156,717	1,347,770	1,347,770	-
Staff Sergeant		38.53	100.0	168,657	6,498,335	6,498,335	-
Sergeant		226.23	50.7	143,480	32,459,478	16,460,024	15,999,454
Constable		1,618.15	50.7	120,835	195,529,705	99,147,813	96,381,892
Part-Time Constable		11.97	50.7	91,572	1,096,112	555,839	540,272
<b>Total Uniform Salaries</b>		<b>1,930.04</b>			<b>241,906,577</b>	<b>128,984,959</b>	<b>112,921,618</b>
Statutory Holiday Payout				6,207	11,906,411	6,262,929	5,643,483
Shift Premiums				1,129	2,095,821	1,062,740	1,033,081
Uniform Benefits - Inspector				29.47%	1,466,114	1,466,114	-
Uniform Benefits - Full-Time Salaries				36.38%	85,791,541	44,909,750	40,881,790
Uniform Benefits - Part-Time Salaries				18.75%	205,571	104,245	101,326
<b>Total Uniform Salaries &amp; Benefits</b>					<b>343,372,035</b>	<b>182,790,737</b>	<b>160,581,298</b>
<b>Detachment Civilian Members</b>	<b>Note 1</b>						
Detachment Administrative Clerk		164.29	50.7	75,342	12,377,949	6,276,748	6,101,201
Detachment Operations Clerk		3.41	50.7	69,798	238,011	120,750	117,260
Detachment Clerk - Typist		1.74	50.7	62,349	108,488	54,867	53,620
Court Officer - Administration		28.73	50.7	92,124	2,646,719	1,342,245	1,304,474
Crimestoppers Co-ordinator		0.89	50.7	73,240	65,184	32,958	32,226
Cadet		1.62	50.7	51,219	82,974	41,999	40,975
<b>Total Detachment Civilian Salaries</b>		<b>200.68</b>			<b>15,519,324</b>	<b>7,869,568</b>	<b>7,649,757</b>
Civilian Benefits - Full-Time Salaries				36.13%	5,606,608	2,843,009	2,763,599
<b>Total Detachment Civilian Salaries &amp; Benefits</b>					<b>21,125,933</b>	<b>10,712,577</b>	<b>10,413,355</b>
<b>Support Costs - Salaries and Benefits</b>	<b>Note 2</b>						
Communication Operators				6,682	12,896,527	6,782,230	6,114,297
Prisoner Guards				2,061	3,977,812	2,091,915	1,885,897
Operational Support				7,119	13,739,955	7,225,785	6,514,170
RHQ Municipal Support				3,208	6,191,568	3,256,120	2,935,448
Telephone Support				157	303,016	159,355	143,661
Office Automation Support				938	1,810,378	952,070	858,308
Mobile and Portable Radio Support				357	693,298	364,522	328,776
<b>Total Support Staff Salaries and Benefits Costs</b>					<b>39,612,554</b>	<b>20,831,997</b>	<b>18,780,557</b>
<b>Total Salaries &amp; Benefits</b>					<b>404,110,521</b>	<b>214,335,311</b>	<b>189,775,210</b>
<b>Other Direct Operating Expenses</b>	<b>Note 2</b>						
Communication Centre				150	289,506	152,250	137,256
Operational Support				1,112	2,146,204	1,128,680	1,017,524
RHQ Municipal Support				360	694,814	365,400	329,414
Telephone				1,458	2,813,998	1,479,870	1,334,128
Mobile Radio Equipment Repairs & Maintenance				168	326,258	171,540	154,718
Office Automation - Uniform				4,487	8,660,089	4,554,305	4,105,784
Office Automation - Civilian				1,154	231,585	116,485	115,100
Vehicle Usage				10,219	19,723,079	10,372,285	9,350,794
Detachment Supplies & Equipment				1,073	2,070,933	1,089,095	981,838
Uniform & Equipment				2,360	4,583,144	2,409,725	2,173,418
Uniform & Equipment - Court Officer				1,037	29,793	15,109	14,684
<b>Total Other Direct Operating Expenses</b>					<b>41,569,403</b>	<b>21,854,744</b>	<b>19,714,660</b>
<b>Total 2025 Municipal Base Services and Calls for Service Cost</b>					<b>\$ 445,679,925</b>	<b>\$ 236,190,055</b>	<b>\$ 209,489,870</b>
<b>Total OPP-Policed Municipal Properties</b>						<b>1,246,809</b>	
<b>Base Services Cost per Property</b>						<b>\$ 189.44</b>	



## OPP 2025 Estimated Base Services and Calls for Service Cost Summary

Estimated Costs for the period January 1, 2025 to December 31, 2025

### Notes:

Total Base Services and Calls for Service Costs are based on the cost of salary, benefit, support and other direct operating expenses for staff providing policing services to municipalities. Staff is measured in full-time equivalent (FTE) units and the costs per FTE are described in the notes below.

- 1) Full-time equivalents (FTEs) are based on average municipal detachment staffing levels for the years 2020 through 2023. Contract enhancements, court security, prisoner transportation and cleaning staff are excluded.

The equivalent of 85.71 FTEs with a cost of \$17,779,996 has been excluded from municipal costs to reflect the average municipal detachment FTEs required for provincially-mandated responsibilities eligible for Provincial Service Usage credit.

Salary rates are based on weighted average rates for municipal detachment staff by rank, level, and classification. The 2025 salaries incorporate the 2025 general salary rate increase set in the 2023 to 2026 OPPA Uniform and Civilian Agreements (uniform and civilian staff - 4.75% in 2023, 4.50% in 2024 and 2.75% in 2025.)

The benefit rates are estimated based on the most recent rates set by the Treasury Board Secretariat, (2024-25). Statutory Holiday Payouts, Shift Premiums, and Benefit costs are subject to reconciliation.

Two new premiums were added in these new agreements: a 3% Frontline Patrol Premium (which applies to Constables and Sergeants in Frontline roles only) and a 3% Second-In-Command Premium (which applies to members when temporarily backfilling a short term platoon command position.) An allowance of \$2,101 per Constable FTE and \$3,330 per Sergeant FTE for the Frontline Patrol Premium and \$76 per Constable FTE for the Second-In-Command premium have been included in the salary rates for Constables and Sergeants. These allowances are subject to reconciliation.

FTEs have been apportioned between Base Services and Calls for Service costs based on the current ratio, 50.7% Base Services : 49.3% Calls for Service.

- 2) Support Staff Costs and Other Direct Operating Expenses for uniform FTEs are calculated on a per FTE basis as per rates set in the 2024 Municipal Policing Cost-Recovery Formula.

## OPP 2025 Calls for Service Billing Summary

### Douro-Dummer Tp

Estimated costs for the period January 1 to December 31, 2025

Calls for Service Billing Workgroups	Calls for Service Count					2025 Average Time Standard	Total Weighted Time	% of Total Provincial Weighted Time	2025 Estimated Calls for Service Cost
	2020	2021	2022	2023	Four Year Average				
	A					B	C = A * B		
	Note 1							Note 2	Note 3
Drug Possession	1	2	1	1	1	5.9	7	0.0004%	848
Drugs	2	1	1	1	1	88.1	110	0.0060%	12,667
Operational	273	289	285	212	265	3.9	1,033	0.0567%	118,769
Operational 2	100	96	106	104	102	1.7	173	0.0095%	19,848
Other Criminal Code Violations	11	13	13	24	15	7.1	108	0.0059%	12,455
Property Crime Violations	59	37	57	67	55	6.2	341	0.0187%	39,224
Statutes & Acts	45	43	46	41	44	3.5	153	0.0084%	17,614
Traffic	73	86	73	75	77	3.8	292	0.0160%	33,548
Violent Criminal Code	17	33	35	23	27	14.8	400	0.0219%	45,965
<b>Municipal Totals</b>	<b>581</b>	<b>600</b>	<b>617</b>	<b>548</b>	<b>587</b>		<b>2,616</b>	<b>0.1437%</b>	<b>\$300,938</b>

### Provincial Totals (Note 4)

Calls for Service Billing Workgroups	Calls for Service Count					2025 Average Time Standard	Total Weighted Time	% of Total Provincial Weighted Time	2025 Estimated Calls for Service Cost
	2020	2021	2022	2023	Four Year Average				
	A					B	C = A * B		
	Note 1							Note 2	Note 3
Drug Possession	2,803	2,979	2,483	2,363	2,657	5.9	15,676	0.8608%	1,803,207
Drugs	1,127	1,050	797	920	974	88.1	85,765	4.7092%	9,865,380
Operational	178,171	180,823	176,502	180,423	178,980	3.9	698,021	38.3272%	80,291,662
Operational 2	48,046	48,395	46,304	47,019	47,441	1.7	80,650	4.4283%	9,276,939
Other Criminal Code Violations	12,123	12,103	12,206	12,931	12,341	7.1	87,619	4.8110%	10,078,638
Property Crime Violations	46,799	47,403	48,878	49,446	48,132	6.2	298,415	16.3855%	34,325,987
Statutes & Acts	31,261	32,888	32,697	34,047	32,723	3.5	114,531	6.2887%	13,174,266
Traffic	32,067	34,757	38,776	32,713	34,578	3.8	131,397	7.2148%	15,114,318
Violent Criminal Code	19,343	20,055	21,513	22,640	20,888	14.8	309,139	16.9743%	35,559,474
<b>Provincial Totals</b>	<b>371,740</b>	<b>380,453</b>	<b>380,156</b>	<b>382,502</b>	<b>378,713</b>		<b>1,821,214</b>	<b>100%</b>	<b>\$209,489,870</b>

### Notes to Calls for Service Billing Summary

- 1) Displayed without decimal places, exact numbers used in calculations
- 2) Displayed to four decimal places, nine decimal places used in calculations
- 3) Total costs rounded to zero decimals
- 4) Provincial Totals exclude data for dissolutions and post-2021 municipal police force amalgamations.

This page intentionally left blank

**OPP 2025 Calls for Service Details**  
**Douro-Dummer Tp**  
**For the calendar years 2020 to 2023**

Calls for Service Billing Workgroups	Calls for Service Count				Four Year Average
	2020	2021	2022	2023	
<b>Grand Total</b>	<b>581</b>	<b>600</b>	<b>617</b>	<b>548</b>	<b>586.50</b>
Drug Possession	1	2	1	1	1.25
Drug Related Occurrence	0	0	1	1	0.50
Possession - Cocaine	1	1	0	0	0.50
Possession - Heroin	0	1	0	0	0.25
Drugs	2	1	1	1	1.25
Cultivate/Propagate/Harvest cannabis by adult	1	0	0	0	0.25
Drug Operation - Commercial Grow Indoor	0	1	0	0	0.25
Drug Operation - Residential Grow Outdoor	0	0	0	1	0.25
Possession of cannabis for purpose of selling	1	0	0	0	0.25
Trafficking - Cocaine	0	0	1	0	0.25
Operational	273	289	285	212	264.75
Accident - Non-MVC - Others	1	0	0	0	0.25
Animal - Bear Complaint	1	1	1	0	0.75
Animal - Bite	1	1	3	1	1.50
Animal - Dog Owners Liability Act	2	1	2	1	1.50
Animal - Injured	6	2	2	4	3.50
Animal - Left in Vehicle	0	0	1	0	0.25
Animal - Master Code	2	0	0	0	0.50
Animal - Other	1	3	1	5	2.50
Animal - Rabid	1	0	0	0	0.25
Animal - Stray	14	12	7	3	9.00
Assist Fire Department	2	4	2	4	3.00
Assist Public	64	63	35	2	41.00
By-Law - Master Code	2	2	1	0	1.25
Distressed / Overdue Motorist	2	0	2	0	1.00
Domestic Disturbance	44	54	49	30	44.25
Family Dispute	17	27	29	16	22.25
Fire - Building	1	5	4	4	3.50
Fire - Other	2	1	2	1	1.50
Fire - Vehicle	3	1	2	0	1.50
Firearms (Discharge) By-Law	1	0	0	1	0.50
Found - Gun	1	0	0	0	0.25
Found - Household Property	0	0	1	2	0.75
Found - Others	1	0	1	0	0.50
Found - Personal Accessories	1	0	0	0	0.25
Found Property - Master Code	3	1	3	4	2.75
Insecure Condition - Master Code	1	0	2	0	0.75
Loitering By-Law	0	0	0	1	0.25
Lost - Jewellery	0	0	1	0	0.25
Lost - Others	0	0	1	0	0.25
Lost Property - Master Code	2	0	7	1	2.50
Missing Person - Master Code	0	0	1	0	0.25
Missing Person 12 & older	2	2	1	2	1.75
Missing Person Located 12 & older	2	1	7	4	3.50

**OPP 2025 Calls for Service Details**  
**Douro-Dummer Tp**  
**For the calendar years 2020 to 2023**

Calls for Service Billing Workgroups	Calls for Service Count				Four Year Average
	2020	2021	2022	2023	
Missing Person Located 12 & older - Foul play suspected	1	0	0	0	0.25
Missing Person Located Under 12	0	0	0	1	0.25
Missing Person under 12	0	0	1	1	0.50
Neighbour Dispute	24	16	30	25	23.75
Noise By-Law	1	1	0	0	0.50
Noise Complaint - Animal	3	2	0	0	1.25
Noise Complaint - Master Code	16	25	21	19	20.25
Noise Complaint - Others	0	2	1	4	1.75
Noise Complaint - Residence	1	1	0	1	0.75
Other Municipal By-Laws	1	6	2	4	3.25
Phone - Nuisance - No Charges Laid	0	1	2	2	1.25
Sudden Death - Accidental	0	1	0	0	0.25
Sudden Death - Apparent Overdose/Overdose	0	0	1	1	0.50
Sudden Death - Natural Causes	4	5	5	7	5.25
Sudden Death - Others	1	0	0	1	0.50
Sudden Death - Suicide	0	0	3	1	1.00
Suspicious Package	0	1	0	2	0.75
Suspicious Person	17	17	26	28	22.00
Suspicious vehicle	16	12	9	8	11.25
Text- related Incident (Texting)	0	1	0	0	0.25
Traffic By-Law	0	1	0	0	0.25
Trouble with Youth	5	6	7	10	7.00
Unwanted Persons	1	8	9	9	6.75
Vehicle Recovered - Automobile	2	2	0	0	1.00
Vehicle Recovered - Master Code	0	0	0	1	0.25
Vehicle Recovered - Trucks	0	0	0	1	0.25
Operational 2	100	96	106	104	101.50
911 call - Dropped Cell	12	19	25	17	18.25
911 call / 911 hang up	29	17	20	19	21.25
911 hang up - Pocket Dial	1	0	0	0	0.25
False Alarm - Cancelled	0	0	0	1	0.25
False Alarm - Malfunction	0	0	0	1	0.25
False Alarm - Others	40	32	23	50	36.25
False Holdup Alarm - Accidental Trip	3	1	1	3	2.00
Keep the Peace	15	27	37	13	23.00
Other Criminal Code Violations	11	13	13	24	15.25
Bail Violations - Fail To Comply	6	3	5	8	5.50
Bail Violations - Others	1	2	1	3	1.75
Breach of Probation	0	2	1	6	2.25
Child Pornography - Master Code	0	0	0	1	0.25
Disturb the Peace	0	2	2	2	1.50
Indecent acts - Other	0	1	3	0	1.00
Offensive Weapons - Careless use of firearms	1	0	0	1	0.50
Offensive Weapons - Carry concealed	1	1	0	0	0.50
Offensive Weapons - Other Offensive Weapons	0	1	0	1	0.50

**OPP 2025 Calls for Service Details**  
**Douro-Dummer Tp**  
**For the calendar years 2020 to 2023**

Calls for Service Billing Workgroups	Calls for Service Count				Four Year Average
	2020	2021	2022	2023	
Offensive Weapons - Other Weapons Offences	0	1	0	0	0.25
Offensive Weapons - Possession of Weapons	0	0	0	2	0.50
Possession Of Counterfeit Money	1	0	0	0	0.25
Public Morals	0	0	1	0	0.25
Trespass at Night	1	0	0	0	0.25
Property Crime Violations	59	37	57	67	55.00
Break & Enter	2	1	1	4	2.00
Break & Enter - Firearms	0	0	1	0	0.25
Fraud - False Pretence Over \$5,000	0	1	0	0	0.25
Fraud - False Pretence Under \$5,000	1	0	1	1	0.75
Fraud - Forgery & Uttering	0	1	0	1	0.50
Fraud - Master Code	2	3	3	1	2.25
Fraud - Money/property/security Over \$5,000	2	1	3	6	3.00
Fraud - Money/property/security Under \$5,000	9	8	7	9	8.25
Fraud - Other	3	2	8	14	6.75
Fraud - Steal/Forge/Poss./Use Credit Card	1	0	5	2	2.00
Identity Theft	0	0	1	0	0.25
Interfere with lawful use, enjoyment of property	1	0	0	0	0.25
Mischief	13	1	10	11	8.75
Mischief Graffiti - Non-Gang Related	0	1	0	0	0.25
Possession of Stolen Goods over \$5,000	0	0	0	1	0.25
Possession of Stolen Goods under \$5,000	0	0	0	1	0.25
Property Damage	1	8	4	1	3.50
Theft Over - Master Code	1	0	0	0	0.25
Theft from Motor Vehicles Under \$5,000	6	0	2	1	2.25
Theft of - All Terrain Vehicles	0	0	0	1	0.25
Theft of - Automobile	0	0	1	1	0.50
Theft of - Mail	0	1	0	0	0.25
Theft of Motor Vehicle	0	0	4	2	1.50
Theft Over \$5,000 - Boat (Vessel)	1	0	0	1	0.50
Theft Over \$5,000 - Farm Equipment	0	0	0	1	0.25
Theft Over \$5,000 - Other Theft	0	1	0	1	0.50
Theft Over \$5,000 - Trailers	0	1	0	0	0.25
Theft Under \$5,000 - Bicycles	0	0	0	2	0.50
Theft Under \$5,000 - Boat (Vessel)	2	0	0	0	0.50
Theft Under \$5,000 - Boat Motor	0	1	0	0	0.25
Theft Under \$5,000 - Construction Site	1	0	0	0	0.25
Theft Under \$5,000 - Master Code	0	1	1	1	0.75
Theft Under \$5,000 - Other Theft	12	5	4	3	6.00
Theft Under \$5,000 - Trailers	1	0	0	1	0.50
Unlawful in a dwelling house	0	0	1	0	0.25
Statutes & Acts	45	43	46	41	43.75
Children's Law Reform Act - Custody order	0	0	0	1	0.25
Landlord / Tenant	5	7	5	6	5.75
Mental Health Act	7	8	13	7	8.75



**OPP 2025 Calls for Service Details**  
**Douro-Dummer Tp**  
**For the calendar years 2020 to 2023**

Calls for Service Billing Workgroups	Calls for Service Count				Four Year Average
	2020	2021	2022	2023	
Mental Health Act - Apprehension	1	2	5	6	3.50
Mental Health Act - Attempt Suicide	2	1	1	2	1.50
Mental Health Act - No contact with Police	1	1	1	4	1.75
Mental Health Act - Placed on Form	1	2	3	3	2.25
Mental Health Act - Threat of Suicide	9	2	6	4	5.25
Mental Health Act - Voluntary Transport	4	8	3	3	4.50
Trespass To Property Act	15	12	9	5	10.25
Traffic	73	86	73	75	76.75
MVC - Fatal (Motor Vehicle Collision)	0	1	0	0	0.25
MVC - Others (Motor Vehicle Collision)	1	1	1	0	0.75
MVC - Pers. Inj. Failed to Remain (Motor Vehicle Collision)	0	0	1	0	0.25
MVC - Personal Injury (Motor Vehicle Collision)	8	10	4	3	6.25
MVC - Prop. Dam. Failed to Remain (Motor Vehicle Collision)	1	5	2	1	2.25
MVC - Prop. Dam. Non Reportable (Motor Vehicle Collision)	14	8	11	5	9.50
MVC - Prop. Dam. Reportable (Motor Vehicle Collision)	49	61	54	66	57.50
Violent Criminal Code	17	33	35	23	27.00
Assault - Level 1	6	9	7	7	7.25
Assault Peace Officer	0	0	0	1	0.25
Assault With Weapon or Causing Bodily Harm - Level 2	1	2	1	2	1.50
Criminal Harassment	3	8	15	3	7.25
Criminal Harassment - Offender Unknown	0	0	1	0	0.25
Extortion	0	1	0	0	0.25
Home Invasion	0	1	0	0	0.25
Indecent / Harassing Communications	1	1	0	2	1.00
Non-Consensual Distribution of Intimate Images	1	1	0	0	0.50
Pointing a Firearm	0	0	1	0	0.25
Sexual Assault	2	4	5	3	3.50
Sexual Interference	0	2	0	0	0.50
Sexual offence occurring prior to January 4, 1983	0	1	0	0	0.25
Utter Threats - Master Code	0	0	1	0	0.25
Utter Threats to Person	3	3	4	5	3.75

**OPP 2023 Reconciled Year-End Summary**  
**Douro-Dummer Tp**  
**Reconciled cost for the period January 1 to December 31, 2023**

			<u>Cost per Property \$</u>	<u>Reconciled Cost \$</u>	<u>Estimated Cost \$</u>
<b>Base Service</b>	<b>Property Counts</b>				
	Household	3,705			
	Commercial and Industrial	93			
	Total Properties	<u>3,798</u>	174.11	661,288	629,184
<b>Calls for Service</b>	Total all municipalities	187,830,598			
	Municipal portion	0.1470%	72.68	276,039	262,439
<b>Overtime</b>			9.73	36,962	25,607
<b>Prisoner Transportation</b>	(per property cost)		1.45	5,507	4,444
<b>Accommodation/Cleaning Services</b>	(per property cost)		5.06	19,218	18,496
<b>Total 2023 Costs</b>			<u><u>263.04</u></u>	<u>999,014</u>	<u>940,170</u>
<b>2023 Billed Amount</b>				<u>940,175</u>	
<b>2023 Year-End-Adjustment</b>				<u><u>58,839</u></u>	

**Notes**

The Year-End Adjustment above is included as an adjustment on the 2025 Billing Statement.

This amount is incorporated into the monthly invoice amount for 2025.

The difference between the estimated and billed amount is due to rounding the bills to the nearest dollar throughout the year.

This page intentionally left blank

**(APPROVED)**

**Minutes of the Township of Douro-Dummer Public Library Board Meeting**

**September 10, 2024, 4:00 PM**

**Present**                      **Darla Milne**  
                                      **Georgia Gale-Kidd**  
                                      **Diane Bonner**  
                                      **Tina Fridgen**

**Staff Present**              **Maggie Pearson**

1. Call to Order

With a quorum of the Board being present, the Secretary called the meeting to order at 4:02 PM

2. Disclosure of any Pecuniary Interest

The Chair reminded members of the Board of their obligation to declare any pecuniary interest they might have. None were declared.

3. Approval of July 9, 2024 Minutes

**Resolution Number 32-2024**

Moved by: Tina Fridgen

Seconded by: Diane Bonner

That the July 9, 2024 draft minutes be approved.

Carried

#### 4. Business Arising from Minutes:

##### 4.1 Committee Reports:

##### 4.1.1 Friends of the Library

Verbal Report from Georgia Gale-Kidd: Busy programming season for the Friends of the Library including Speaker Series and Culture Days bus tour and community arts workshop. Potential November 9<sup>th</sup> date for winter/ holiday wreath and arrangement workshop. Marketing (posters, social media) update on all these events.

##### 4.1.2 Art Gallery Committee

Verbal report from Tina Fridgen: current show reception/ artist talk to be embedded in Culture Days. Artist John Climenhage selected for winter (January start) show. Board discussion re: showcasing recent art collection donation and holding a silent auction and promoting donation avenues (including literary angels) during the giving season. Early December suggested. Outline of website content for art gallery presented.

#### **Resolution Number 33-2024**

Moved by: Tina Fridgen

Seconded by: Diane Bonner

That these committee reports be accepted for information and that,  
The Art Gallery Committee and CEO work together to update the Art Gallery portion of the website.

Carried

##### 4.1.3 Policy Committee

##### 4.1.3.1 DDPL-OP-015 Donation Policy

#### **Resolution Number 34-2024**

Moved by: Diane Bonner

Seconded by: Tina Fridgen

That the Donation Policy DDPL-OP-015 be adopted with minor revisions.

Carried

5. Financial Report Dated August 31, 2024

**Resolution Number 35-2024**

Moved by: Diane Bonner

Seconded by: Tina Fridgen

That the financial report be accepted for information.

Carried

6. Librarian Reports:

6.1 Stats Report: July and August 2024

6.2 Report to Board: Projects/ Operations

**Resolution Number 36-2024**

Moved by: Diane Bonner

Seconded by: Tina Fridgen

That the librarian's reports be accepted for information and that,  
The CEO submit a report to the Committee of the Whole for the Board to attend and present.

Carried

7. New Business:

7.1 Community Feedback Survey

**Resolution Number 36-2024**

Moved by: Diane Bonner

Seconded by: Tina Fridgen

That the community feedback survey be administered with minor revisions.

Carried



8. Correspondence

9. Closed Session

10. Adjournment

**Resolution Number 37-2024**

Moved by: Darla Milne

That the meeting be adjourned at 5:01 PM

Carried

11. Next Meeting

Tuesday, October 8<sup>th</sup>, 2024

---

Chair, Georgia Gale-Kidd

---

Secretary, Maggie Pearson

**Minutes**  
**Peterborough OPP Detachment Board**  
**Monday, September 30, 2024**  
**Peterborough County Committee Room 1:30 PM**

Accessible formats and communication supports are available upon request. The Municipality of Trent Lakes is committed to accessibility for persons with disabilities. Please contact [clerk@trentlakes.ca](mailto:clerk@trentlakes.ca) if you have an accessible accommodation request.

Present:

Member Carolyn Amyotte, Mayor, North Kawartha  
Member John Braybrook, Councillor, Trent Lakes  
Member Caroline Goodenough, Provincial Appointee  
Member Brian Henry, Councillor, Selwyn  
Member Joe Taylor, Mayor, Otonabee-South Monaghan  
Member Heather Watson, Mayor, Douro-Dummer  
Member Hart Webb, Deputy Mayor, Havelock-Belmont-Methuen  
Member Patrick Wilford, Mayor, Asphodel-Norwood  
Appointee Laurie Carr, Chief, Hiawatha First Nation  
Appointee Jeffrey Jacobs, Deputy Chief, Curve Lake First Nation (arrived at 1:44 p.m.)

OPP Representatives Present:

Chris Galeazza, Detachment Commander, Peterborough County OPP

Staff Present:

Bianca Dragicevic, Interim Board Administrator/Deputy Clerk, Trent Lakes  
Marissa Martin, Records and Information Management Coordinator, Peterborough County

**1. Opening Ceremonies**

1.1. Call to Order

The Interim Board Administrator called the meeting to order at 1:30 p.m.

1.2. Roll Call

The Interim Board Administrator called the Roll.

1.3. Land Acknowledgement and Moment of Reflection

The Interim Board Administrator led the Board in a Land Acknowledgement and Moment of Reflection.

## **2. Administration of Oath/Affirmation of Office**

The Interim Board Administrator administered the Oaths/Affirmations of Office for the following members:

- Member Carolyn Amyotte
- Member John Braybrook
- Member Caroline Goodenough
- Member Brian Henry
- Member Joe Taylor
- Member Heather Watson
- Member Hart Webb
- Member Patrick Wilford

Appointee Laurie Carr and Appointee Jeffrey Jacobs declined taking the Oath/Affirmation of Office.

## **3. Election of Chair and Vice-Chair**

### **3.1. Nomination of Chair**

The Interim Board Administrator called for nominations for the position of Chair.

Member Braybrook was nominated by Member Watson for the position of Chair for the Peterborough OPP Detachment Board. The nomination was seconded by Member Goodenough.

The Interim Board Administrator called a second time for nominations. The Interim Board Administrator called a third and final time for nominations. There were no further nominations for the position of Chair and the nominations for the Chair Position was closed.

Member Braybrook accepted the nomination.

By acclamation, Member John Braybrook was appointed as Chair for the Peterborough OPP Detachment Board until the next annual appointment of the Chair.

### **3.2. Nomination of Vice-Chair**

The Interim Board Administrator called for nominations for the position of Vice-Chair.

Member Heather Watson was nominated by Member Taylor for the position of Vice-Chair for the Peterborough OPP Detachment Board. The nomination was seconded by Member Amyotte.

The Interim Board Administrator called a second time for nominations. The Interim Board Administrator called a third and final time for nominations. There were no further nominations for the position of Vice-Chair and the nominations for the Vice-Chair Position was closed.

Member Watson accepted the nomination.

By acclamation, Member Heather Watson was appointed as Vice-Chair for the Peterborough OPP Detachment Board until the next annual appointment of the Vice-Chair.

#### 4. Reports

- 4.1. Bianca Dragicevic, Interim Board Administrator  
Re: Peterborough County OPP Detachment Board Insurance

Resolution No. **DB2024-01**

Moved by Member Amyotte  
Seconded by Member Wilford

**That** the Board receive the report from the Interim Board Administrator regarding Detachment Board Insurance; and further

**That** the Board direct the Interim Board Administrator to proceed with implementing Option 1, Group Insurance Policy through the Ontario Association of Police Services Board; and further

**That** the cost of the insurance be distributed equally amongst the 7 participating municipalities; and further

**That** the Chair and Interim Board Administrator be authorized to execute any documents and agreements required for the Detachment Board Insurance.

Carried.

#### 5. Adjournment

- 5.1. The next meeting is scheduled for October 21, 2024 at 1:00 p.m.
- 5.2. Adjournment

Resolution No. **DB2024-02**

Moved by Member Amyotte  
Seconded by Member Webb

**That** the Board adjourn at 2:28 p.m.

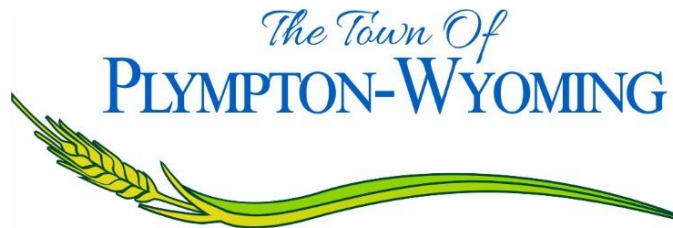
Carried.

---

John Braybrook, Chair

---

Bianca Dragicevic, Interim  
Board Administrator



Justin Trudeau  
[justin.trudeau@parl.gc.ca](mailto:justin.trudeau@parl.gc.ca)  
(sent via e-mail)

October 10<sup>th</sup>, 2024

Re: Solve the Humanitarian Crisis

Please be advised that the Council of the Town of Plympton-Wyoming, at its Regular Council meeting on October 9<sup>th</sup>, 2024, passed the following motion supporting the resolution from the Municipality of Waterloo regarding solving the humanitarian crisis.

**Motion #14**

Moved by Councillor Kristen Rodrigues

Seconded by Councillor John van Klaveren

That Council support correspondence item 'g' from the Municipality of Waterloo regarding Solve the Humanitarian Crisis.

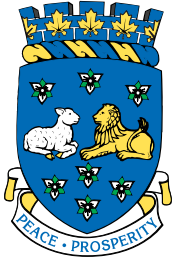
***Carried.***

If you have any questions regarding the above motion, please do not hesitate to contact me by phone or email.

Sincerely,

Ella Flynn  
[eflynn@plympton-wyoming.ca](mailto:eflynn@plympton-wyoming.ca)  
Executive Assistant – Deputy Clerk  
Town of Plympton-Wyoming

Cc: Hon. Sean Fraser, Minister of Housing, Infrastructure & Communities of Canada  
[sean.fraser@parl.gc.ca](mailto:sean.fraser@parl.gc.ca)  
Hon. Doug Ford, Premier of Ontario [doug.fordco@pc.ola.org](mailto:doug.fordco@pc.ola.org)  
Hon. Sylvia Jones, Deputy Premier and Minister of Health [Sylvia.Jones@pc.ola.org](mailto:Sylvia.Jones@pc.ola.org)  
Hon. Paul Calandra, Minister of Municipal Affairs and Housing [Paul.Calandra@pc.ola.org](mailto:Paul.Calandra@pc.ola.org)  
Hon. Michael Parsa, Minister of Children, Community & Social Services [Michael.Parsaco@pc.ola.org](mailto:Michael.Parsaco@pc.ola.org)  
Hon. Michael Tibollo, Associate Minister of Mental Health & Addictions [Michael.Tiboloco@pc.ola.org](mailto:Michael.Tiboloco@pc.ola.org)  
Marilyn Gladu, Sarnia-Lambton MP [marilyn.gladu@parl.gc.ca](mailto:marilyn.gladu@parl.gc.ca)  
Bob Bailey, Sarnia-Lambton MPP [bob.baileyco@pc.ola.org](mailto:bob.baileyco@pc.ola.org)  
AMO [resolutions@amo.on.ca](mailto:resolutions@amo.on.ca)



September 26, 2024

The Right Honourable Justin Trudeau, Prime Minister of Canada

Dear Prime Minister:

**Re: Solve the Crisis**

Please be advised that the Council of the Regional Municipality of Waterloo at their regular meeting held on September 25, 2024, approved the following motion:

**Whereas there is a humanitarian crisis in cities, large and small, urban and rural, across Ontario. We need immediate action at all levels of government, starting with the Province; and**

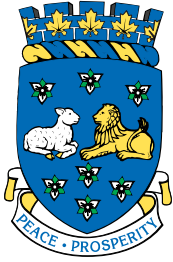
**Whereas the homelessness, mental health and addictions crisis continues to grow with 3432 drug related deaths in Ontario in 2023 as well as with an estimated 234,000 Ontarians experiencing homelessness and over 1400 homeless encampments across Ontario communities in 2023; and**

**Whereas the province has provided additional funding for mental health, addictions and homelessness programs, including the recently announced Homelessness and Addiction Recovery Treatment (HART) Hubs, it does not adequately address the growing crisis and the financial and social impact on municipalities and regions across the province; and**

**Whereas municipalities and regions are stepping up and working with community partners to put in place community-specific solutions to address this crisis, but municipalities and regions lack the expertise, capacity, or resources to address these increasingly complex health care and housing issues alone; and**

**Whereas this is primarily a health issue that falls under provincial jurisdiction and municipalities and regions should not be using the property tax base to fund these programs; and**





**Whereas there is no provincial Minister focused on this crisis leading to unanswered questions that span over a dozen ministries, and a lack of support to manage the increasing needs of those who are unhoused.**

**Now Therefore be it resolved that the Region of Waterloo supports the Solve the Crisis Campaign;**

**And calls on provincial and federal governments to commit to immediate action to solve the Humanitarian Crisis that Ontario is facing as the numbers of unhoused individuals and those suffering with mental health & addictions grows exponentially;**

**AND that the province officially makes Homelessness a Health Priority;**

**AND appoints a responsible Minister and Ministry with the appropriate funding and powers as a single point of contact to address the full spectrum of housing needs as well as mental health, addictions and wrap around supports;**

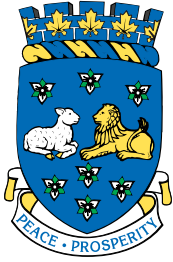
**AND request that the provincial government strike a task force with broad sector representatives including municipalities, regions, healthcare, first responders, community services, the business community and the tourism industry to develop a *Made in Ontario Action Plan*;**

**AND that this provincial task force reviews current programs developed by municipalities, regions and community partners that have proven successful in our communities, to ensure that solutions can be implemented quickly and effectively to tackle this crisis.**

**AND provides the adequate, sufficient and sustainable funding to ensure that municipalities have the tools and resources to support individuals suffering with mental health and addictions, including unhoused people and those from vulnerable populations that may be disproportionately impacted;**

**And that this Council calls on the residents across the Region of Waterloo to join us in appealing to the provincial and federal governments for support by visiting [SolveTheCrisis.ca](http://SolveTheCrisis.ca) and showing your support;**

**And further that a copy of this motion be sent to:**



- **The Honourable Sean Fraser, Minister of Housing, Infrastructure and Communities of Canada**
- **The Honourable Doug Ford, Premier of Ontario**
- **The Honourable Sylvia Jones, Deputy Premier and Minister of Health**
- **The Honourable Paul Calandra, Minister of Municipal Affairs and Housing**
- **The Honourable Michael Parsa, Minister of Children, Community and Social Services**
- **The Honourable Michael Tibollo, Associate Minister of Mental Health and Addictions**
- **Local and area MPs, MPPs and Heads of Council**
- **The Association of Municipalities of Ontario, Ontario's Big City Mayors and Mayors and Regional Chairs of Ontario**

Please accept this letter for information purposes only. If you have any questions please contact Regional Councillor Dorothy McCabe [Dorothy.McCabe@waterloo.ca](mailto:Dorothy.McCabe@waterloo.ca)

Please forward any written responses to this letter to William Short, Director, Council & Administrative Services/Regional Clerk  
[regionalclerk@regionofwaterloo.ca](mailto:regionalclerk@regionofwaterloo.ca)

Yours sincerely,

William Short, Director Council and Administrative Services/Regional Clerk

cc: Region of Waterloo Councillor Dorothy McCabe [Dorothy.McCabe@waterloo.ca](mailto:Dorothy.McCabe@waterloo.ca)



# Northumberland County Council Resolution

**SENT VIA EMAIL**

**October 21, 2024**

Hon. Doug Ford (Premier of Ontario)  
Hon. Paul Calandra (Minister of Municipal Affairs and Housing)  
Hon. David Piccini (Minister of Labour Immigration, Training and Skills Development and  
MPP for Northumberland-Peterborough South)  
Association of Municipalities of Ontario (AMO)  
All Ontario Municipalities

**Re: Correspondence, Township of Stirling-Rawdon 'Public Sector Salary Disclosure**

At a meeting held on October 16, 2024 Northumberland County Council approved Council Resolution # 2024-10-16-717, adopting the below recommendation from the October 1, 2024 Corporate Support Committee meeting:

**Moved by:** Councillor John Logel  
**Seconded by:** Council Alternate Michael Metcalf

"**That** the Corporate Support Committee, having considered the correspondence from the Township of Stirling-Rawdon regarding 'Public Sector Salary Disclosure', recommend that County Council support the correspondence and direct staff to send a copy of this resolution to the Honourable Doug Ford (Premier of Ontario), the Honourable Paul Calandra (Minister of Municipal Affairs and Housing), the Honourable David Piccini (Minister of Labour, Immigration, Training and Skills Development and MPP for Northumberland- Peterborough South), the Association of Municipalities of Ontario (AMO), and all Ontario Municipalities."

**Council Resolution # 2024-10-16-717**

**Carried**

If you have any questions regarding this matter, please do not hesitate to contact the undersigned at [matherm@northumberland.ca](mailto:matherm@northumberland.ca) or by telephone at 905-372-3329 ext. 2238.

Sincerely,  
Maddison Mather



Manager of Legislative Services / Clerk  
Northumberland County

# Council Resolution

Moved By J. Logel Agenda Item 10 Resolution Number 2024-10-16- 717  
 Seconded By M. Metcalf


**Council Date: October 16, 2024**

"That Council adopt all recommendations from the four Standing Committees, as contained within the Committee Minutes (meetings held September 30, 2024 and October 1 and 2, 2024), with the exception of the following items (referenced from the Standing Committee Minutes), that will be held for discussion:

Committee Name	Item #	Description	Held By
		- Economic Development, Tourism and Land Use Planning Committee, Item 9.b, Correspondence, Ministry of Municipal Affairs and Housing 'Request to Repeal Official Plan Amendments Adopting By-law' – <b>Held by Councillor Logel</b>	
		- Public Works Committee, Item 9.a, Report 2024-122, 'Transfer of Thompson Bridge from Northumberland County to the Municipality of Trent Hills' – <b>Held by Council Alternate Michael Metcalf.</b>	
		- Social Services Committee, Item 5.a, Delegation, James Bisson 'Homelessness and Encampment Response Report' – <b>Held by Deputy Warden Hankivsky</b>	
		- Social Services Committee, Item 8.a(1), Delegation, Vivian Vandenhazel 'Encampment Response and Progress on 310 Division Street, Cobourg Update – Presentation' – <b>Held by Councillor Cleveland</b>	
		- Social Services Committee, Item 8.a(2), Encampment Response and Progress on 310 Division Street, Cobourg Update - Presentation – <b>Held by Councillor Cleveland</b>	

**And Further That** the items listed above and held for separate discussion each require a separate resolution."

Recorded Vote Requested by \_\_\_\_\_  
 Councillor's Name

Carried   
 Warden's Signature

Deferred \_\_\_\_\_  
 Warden's Signature

Defeated \_\_\_\_\_  
 Warden's Signature

## Corporate Support Committee Resolution

---

**Committee Meeting Date:** October 1, 2024

**Agenda Item:** 7.a

**Resolution Number:** 2024-10-01- 615

**Moved by:** S. Dibb

**Seconded by:** B. Ostrander

**Council Meeting Date:** October 16, 2024

---

"**That** the Corporate Support Committee, having considered the correspondence from the Township of Stirling-Rawdon regarding 'Public Sector Salary Disclosure', recommend that County Council support the correspondence and direct staff to send a copy of this resolution to the Honourable Doug Ford (Premier of Ontario), the Honourable Paul Calandra (Minister of Municipal Affairs and Housing), the Honourable David Piccini (Minister of Labour, Immigration, Training and Skills Development and MPP for Northumberland- Peterborough South), the Association of Municipalities of Ontario (AMO), and all Ontario Municipalities."

**Carried** \_\_\_\_\_



Committee Chair's Signature

**Defeated** \_\_\_\_\_

Committee Chair's Signature

**Deferred** \_\_\_\_\_

Committee Chair's Signature





2529 Stirling-Marmora Road  
Box 40  
Stirling, ON K0K 3E0  
Phone: 613-395-3380 Fax: 613-395-0864

August 21, 2024

Premier's Office  
Room 281  
Legislative Building, Queen's Park  
Toronto, ON M7A 1A1

Dear Hon. Ford,

**Re: Public Sector Salary Disclosure**

At the August 6, 2024 Standing Committees meeting, Committee made the following recommendation:

**Moved by Councillor Dean Graff**  
**Seconded by Councillor Don Stewart**

*That the report from the CAO-Treasurer entitled, "Public Sector Salary Disclosure" be received; and*

*That Committee recommends to Council the following resolution be adopted and forwarded to the Province of Ontario Premier's Office, the Ministry of Municipal Affairs and Housing, the Association of Municipalities of Ontario and all Ontario Municipalities;*

*Now Therefore Be It Resolved That the Public Sector Salary Disclosure Act be updated to reflect the inflation rates since 1996; and further*

*That the Act be further updated so that the inflation rate is applied each year to the requirement to report public salaries.*

**Carried.**

This resolution was subsequently ratified and confirmed by Council at their meeting of August 19, 2024.

Sincerely,

Sydney Dodson  
Deputy Clerk

/sd

Cc: Roxanne Hearn – CAO/Treasurer, Premier Doug Ford, the Ministry of Municipal Affairs and Housing, AMO, all Ontario Municipalities

From: Scott Butler <scott@goodroads.ca> Sent: Tuesday, October 29, 2024 6:33 PM

To: Martina Chait-Hartwig <mchaithartwig@dourodummer.ca>

Subject: stablishment of an Ontario Rural Road Safety Program

Wednesday, October 09, 2024

To: Township of Douro-Dummer Head of Council and Council Members

Sent via email to: martinac@dourodummer.on.ca

Subject: Establishment of an Ontario Rural Road Safety Program

Too many Ontarians are being seriously injured or killed on our roads.

In 2023, there were 616 people killed and 36,090 people injured. The number of fatalities is up nearly 20% in the last ten years.

In 2021, the most recent year of complete data from MTO's Ontario Road Safety Annual Report (ORSAR), there were 561 fatalities – 426 of which occurred on municipal roads. While rural Ontario only represents 17% of the province's population, 55% of these deaths occurred on rural roads. By any measure, Ontario's rural roads are disproportionately more dangerous.

At the same time, municipal insurance premiums continue to increase. With no plausible reform being considered for joint and several liability, municipalities need to find innovative means for managing risk, particularly on their roadways,

To deal with this crisis, Good Roads has designed a multifaceted rural road safety program and have been in discussions with the Ministry of Transportation to fund it. The program would target a municipality's most dangerous roads, perform road safety audits, and install modern safety infrastructure that prevents serious injuries and save lives. This program is designed to be cost effective while also providing rural municipalities with a direct means for addressing risk associated with their roadways.

Good Roads has proposed leading a five-year \$183 million program that leverages our 131 years of municipal road expertise and our industry partnerships to quickly put in place the solutions that will address some of Ontario's most dangerous roads.

Good Roads is seeking support to address these preventable tragedies.

If the Township of Douro-Dummer would be interested in pursuing this, a Council resolution similar to the example below should be adopted and sent to the Premier and the Minister of Transportation:



WHEREAS official statistics from the Government of Ontario confirm that rural roads are inherently more dangerous than other roads;

AND WHEREAS, despite only having 17% of the population, 55% of the road fatalities occur on rural roads;

AND WHEREAS, rural, northern, and remote municipalities are fiscally strained by maintaining extensive road networks on a smaller tax base;

AND WHEREAS, preventing crashes reduces the burden on Ontario's already strained rural health care system;

AND WHEREAS, roadway collisions and associated lawsuits are significant factors in runaway municipal insurance premiums. Preventing crashes can have a significant impact in improving municipal risk profiles;

THEREFORE, BE IT RESOLVED THAT the Township of Douro-Dummer requests that the Government of Ontario take action to implement the rural road safety program that Good Roads has committed to lead. It will allow Ontario's rural municipalities to make the critical investments needed to reduce the high number of people being killed and seriously injured on Ontario's rural roads; and

FURTHER THAT a copy of this resolution be forwarded to Premier Doug Ford, Hon. Prabmeet Sarkaria, Minister of Transportation, Hon. King Surma, Minister of Infrastructure, Hon. Rob Flack, Minister of Agriculture, Hon. Lisa Thompson, Minister of Rural Affairs, Hon. Trevor Jones, Associate Minister of Emergency Preparedness and Response, and Hon. Sylvia Jones, Minister of Health, and Good Roads; and

FURTHER THAT this resolution be circulated to all municipalities in Ontario requesting their support.

If you have any questions regarding this initiative please contact Thomas Barakat, Good Roads' Manager of Public Policy & Government Relations, at [thomas@goodroads.ca](mailto:thomas@goodroads.ca) at your convenience.

Sincerely,

A black and white image of a handwritten signature, likely of Scott R. Butler, on a dark background.

Scott R. Butler Executive Director

A black and white image of a handwritten signature, likely of Antoine Boucher, on a dark background.

Antoine Boucher  
President  
Good Roads Board of Directors



**The Town of The Blue Mountains  
Council Meeting**

**Title:** Scott R. Butler, Executive Director, Ontario Good Roads Association and Antoine Boucher, President, Ontario Good Roads Board of Directors

**Date:** Monday, October 21, 2024

---

**Moved by:** Councillor McKinlay

**Seconded by:** Councillor Maxwell

THAT Council of the Town of The Blue Mountains receives for information the correspondence of Scott R. Butler, Executive Director, Ontario Good Roads Association and Antoine Boucher, President, Ontario Good Roads Board of Directors Re: Request for Council Consideration of Support for Resolution regarding the Establishment of an Ontario Rural Road Safety Program;  
WHEREAS official statistics from the Government of Ontario confirm that rural roads are inherently more dangerous than other roads;  
AND WHEREAS, despite only having 17% of the population, 55% of the road fatalities occur on rural roads;  
AND WHEREAS, rural, northern, and remote municipalities are fiscally strained by maintaining extensive road networks on a smaller tax base;  
AND WHEREAS, preventing crashes reduces the burden on Ontario's already strained rural strained health care system;  
AND WHEREAS, roadway collisions and associated lawsuits are significant factors in runaway municipal insurance premiums. Preventing crashes can have a significant impact in improving municipal risk profiles;  
THEREFORE, BE IT RESOLVED THAT the Town of The Blue Mountains requests that the Government of Ontario take action to implement the rural road safety program that Good Roads has committed to lead. It will allow Ontario's rural municipalities to make the critical investments needed to reduce the high number of people being killed and seriously injured on Ontario's rural roads; and  
FURTHER THAT a copy of this resolution be forwarded to Premier Doug Ford, Hon. Prabmeet Sarkaria, Minister of Transportation, Hon. King Surma, Minister of Infrastructure, Hon. Rob Flack, Minister of Agriculture, Hon. Lisa Thompson, Minister of Rural Affairs, Hon. Trevor Jones, Associate Minister of Emergency Preparedness and Response, and Hon. Sylvia Jones, Minister of Health, and Good Roads; and  
FURTHER THAT this resolution be circulated to all municipalities in Ontario requesting their support.

**YES: 6**

**NO: 0**

**CONFLICT: 0**

**ABSENT: 1**

**The motion is Carried**

**YES: 6**

Mayor Matrosovs

Councillor Ardiel

Councillor Hope

Councillor Maxwell

Councillor McKinlay

Councillor Porter

**NO: 0**

**CONFLICT: 0**

**ABSENT: 1**

**Deputy Mayor Bordignon**

**Page 173 of 183**

**From:** Scott Butler <scott@goodroads.ca>  
**Sent:** Wednesday, October 9, 2024 12:07 PM  
**To:** Town Clerk <townclerk@thebluemountains.ca>  
**Subject:** Establishment of an Ontario Rural Road Safety Program

# Good Roads

Wednesday, October 09, 2024

To: Town of The Blue Mountains Head of Council and Council Members

Sent via email to: [townclerk@thebluemountains.ca](mailto:townclerk@thebluemountains.ca)

**Subject: Establishment of an Ontario Rural Road Safety Program**

Too many Ontarians are being seriously injured or killed on our roads.

In 2023, there were 616 people killed and 36,090 people injured. The number of fatalities is up nearly 20% in the last ten years.

In 2021, the most recent year of complete data from MTO's *Ontario Road Safety Annual Report* (ORSAR), there were 561 fatalities – 426 of which occurred on municipal roads. While rural Ontario only represents 17% of the province's population, 55% of these deaths occurred on rural roads. By any measure, Ontario's rural roads are disproportionately more dangerous.

At the same time, municipal insurance premiums continue to increase. With no plausible reform being considered for joint and several liability, municipalities need to find innovative means for managing risk, particularly on their roadways,

To deal with this crisis, Good Roads has designed a multifaceted rural road safety program and have been in discussions with the Ministry of Transportation to fund it. The program would target a municipality's most dangerous roads, perform road safety audits, and install modern safety infrastructure that prevents serious injuries and save lives. This program is designed to be cost effective while also providing rural municipalities with a direct means for addressing risk associated with their roadways.

Good Roads has proposed leading a five-year \$183 million program that leverages our 131 years of municipal road expertise and our industry partnerships to quickly put in place the solutions that will address some of Ontario's most dangerous roads.

Good Roads is seeking support to address these preventable tragedies.

If the Town of The Blue Mountains would be interested in pursuing this, a Council resolution similar to the example below should be adopted and sent to the Premier and the Minister of Transportation:

WHEREAS official statistics from the Government of Ontario confirm that rural roads are inherently more dangerous than other roads;

AND WHEREAS, despite only having 17% of the population, 55% of the road fatalities occur on rural roads;

AND WHEREAS, rural, northern, and remote municipalities are fiscally strained by maintaining extensive road networks on a smaller tax base;

AND WHEREAS, preventing crashes reduces the burden on Ontario's already strained rural strained health care system;

AND WHEREAS, roadway collisions and associated lawsuits are significant factors in runaway municipal insurance premiums. Preventing crashes can have a significant impact in improving municipal risk profiles;

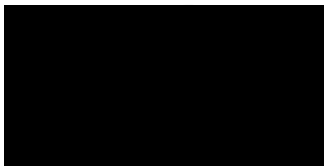
THEREFORE, BE IT RESOLVED THAT the Town of The Blue Mountains requests that the Government of Ontario take action to implement the rural road safety program that Good Roads has committed to lead. It will allow Ontario's rural municipalities to make the critical investments needed to reduce the high number of people being killed and seriously injured on Ontario's rural roads; and

FURTHER THAT a copy of this resolution be forwarded to Premier Doug Ford, Hon. Prabmeet Sarkaria, Minister of Transportation, Hon. King Surma, Minister of Infrastructure, Hon. Rob Flack, Minister of Agriculture, Hon. Lisa Thompson, Minister of Rural Affairs, Hon. Trevor Jones, Associate Minister of Emergency Preparedness and Response, and Hon. Sylvia Jones, Minister of Health, and Good Roads; and

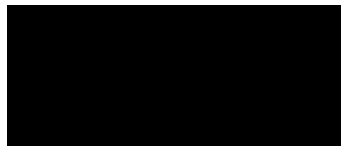
FURTHER THAT this resolution be circulated to all municipalities in Ontario requesting their support.

If you have any questions regarding this initiative please contact Thomas Barakat, Good Roads' Manager of Public Policy & Government Relations, at [thomas@goodroads.ca](mailto:thomas@goodroads.ca) at your convenience.

Sincerely,



Scott R. Butler  
Executive Director



Antoine Boucher  
President  
Good Roads Board of Directors



October 23, 2024

Dear Energy Stakeholder:

I am writing today to share [Ontario's Affordable Energy Future: The Pressing Case for More Power](#), and to share information about next steps on integrated energy resource planning.

Ontario's energy demand is expected to increase by 75 per cent by 2050, as a result of economic development, housing for its growing population and electrification. There is a need to move to an integrated planning process across fuels and sectors, coordinating the build-out of an energy system that remains affordable, abundant and clean.

To support this work, I am pleased to release *Ontario's Affordable Energy Future: The Pressing Case for More Power*, which sets out our priorities in meeting the challenge of a growing Ontario. We are also initiating a consultation and engagement process that would inform the development of Ontario's first Integrated Energy Resource Plan. This plan, which we intend to release in 2025, will consider a long-term, integrated view of energy use across the economy and across all sources of energy.

To help guide this consultation and engagement process, the ministry has released a consultation posting on the [Environmental Registry of Ontario](#), which includes *Ontario's Affordable Energy Future: The Pressing Case for More Power*, together with links to contextual and background information and a series of questions to help guide feedback from our consultation and engagement. The ministry is seeking feedback from the public, Indigenous communities, and key stakeholders to help shape the plan, and we would like to hear from you.

On October 23, 2024, I also introduced Bill 214, the *Affordable Energy Act, 2024*, for approval by the legislature. This legislation would, if passed, enable the development of Integrated Energy Resource Plans, and take other steps to achieve our vision of an affordable energy future. The proposal includes statutory amendments that would make it more cost-effective to connect to the electricity grid, help reduce energy use to save families and businesses money and support the growth of electric vehicles in Ontario.

Our legislative initiative, along with *Ontario's Affordable Energy Future*, builds on significant work completed over the past six years to refine energy system planning and guide the transition to cleaner forms of energy. I appreciate the valuable contributions from the sector to help inform this work so far, such as the Electrification and Energy Transition Panel's engagements. I look forward to continuing to work together through this process.

.../cont'd

I encourage you to review *Ontario's Affordable Energy Future: The Pressing Case for More Power* as well as [Bill 214, the Affordable Energy Act, 2024](#), and submit your feedback through the Environmental Registry of Ontario.

If you have any specific questions about this consultation process, please contact the following Ministry of Energy and Electrification staff:

Christopher Goode  
Director, Policy Coordination and Outreach Branch  
Strategic, Network and Agency Policy Division  
(647) 505-7731  
[christopher.goode@ontario.ca](mailto:christopher.goode@ontario.ca)

Hillary Armstrong  
A/Manager, Policy Coordination  
Strategic, Network and Agency Policy Division  
416-818-0740  
[hillary.armstrong@ontario.ca](mailto:hillary.armstrong@ontario.ca)

Sincerely,

A handwritten signature in blue ink, appearing to read 'S. Lecce', with a long horizontal flourish extending to the right.

Stephen Lecce  
Minister

c: Hon. Sam Oosterhoff, Associate Minister of Energy-Intensive Industries  
Matt Hiraishi, Chief of Staff to the Minister of Energy and Electrification  
Crystal Mason, Chief of Staff to the Associate Minister of Energy-Intensive Industries  
Susanna Laaksonen-Craig, Deputy Minister of Energy and Electrification  
Karen Moore, Assistant Deputy Minister of Energy and Electrification



**The Corporation of the Township of Douro-Dummer**

**By-law Number 2024-64**

**Being a By-law to amend By-law Number 10-1996, as amended, otherwise known as "The Township of Douro-Dummer Comprehensive Zoning By-law"**

**Whereas** By-law Number 10-1996, as amended, regulates the use of land and the use and erection of buildings and structures within the Township of Douro-Dummer;

**And Whereas** Section 34 of The Planning Act, RSO 1990, as amended, permits the Council to pass an amending Zoning By-law;

**And Whereas** the Council of the Township of Douro-Dummer deems it advisable to further amend By-law No. 10-1996 as amended;

**Now Therefore** the Council of the Township of Douro-Dummer hereby enacts as follows:

1. Schedule A2 to By-law No. 10-1996, as amended, is hereby further amended by changing the zone category on a portion of lands known municipally as 1450 Mill Line Road and more particularly described as Part Lot 7, Concession 9 (Dummer Ward) being Parts 1 & 2, Plan 45R-11792 from the Special District 114 Zone (S.D. 114) to the Residential Zone (R) and the Environmental Conservation Provincially Significant Wetland Zone (EC(P)) as shown on Schedule "1" attached hereto and forming part of this By-law.
2. Section 21 Special Districts is amended by deleting subsection "21.114 Special District 114 Zone (S.D. 114)" in its entirety.
3. All other relevant provisions of By-law 10-1996, as amended, shall apply.

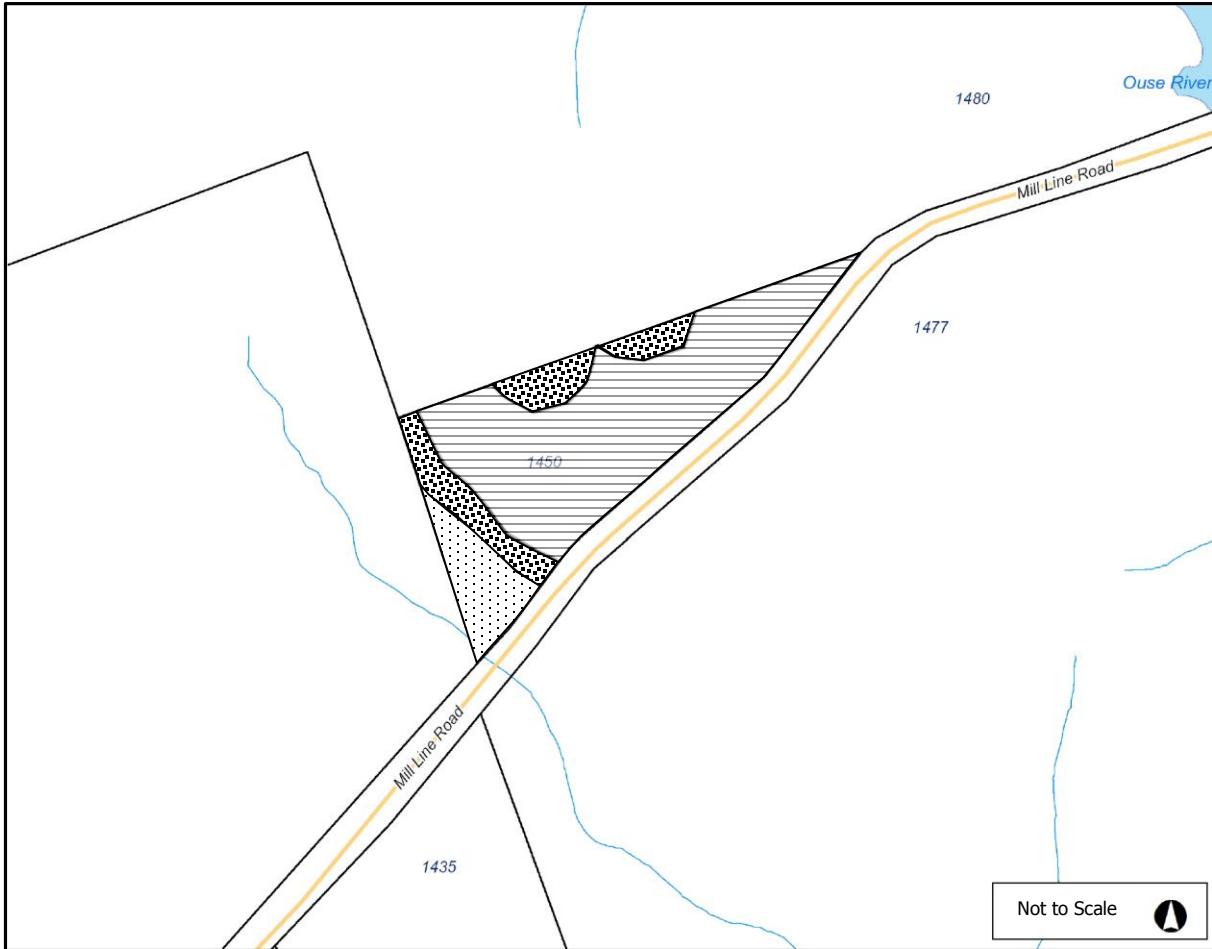
If no notice of objection is filed with the Clerk within the time provided, this By-law shall become effective on the date of passing hereof, subject to the provisions of The Planning Act, RSO 1990, as amended.

Passed in Open Council this 5th day of November 2024.

\_\_\_\_\_  
Mayor, Heather Watson

\_\_\_\_\_  
Clerk - Deputy C.A.O., Martina Chait-Hartwig

Schedule "1" to By-law 2024-64



Rezone from the 'Special District 114 Zone (S.D. 114)' to the 'Residential Zone (R)'



Area to remain zoned the 'Environmental Conservation Provincially Significant Wetland Zone (EC(P))'



Rezone from the 'Special District 114 Zone (S.D. 114)' to the 'Environmental Conservation Provincially Significant Wetland Zone (EC(P))'

This is Schedule '1' to By-law No. 2024-64 passed this 5th day of November 2024.

\_\_\_\_\_  
Mayor, Heather Watson

\_\_\_\_\_  
Clerk - Deputy C.A.O., Martina Chait-Hartwig

**The Corporation of the Township of Douro-Dummer**

**By-law Number 2024-65**

**Being a By-law to amend By-law Number 10-1996, as amended, otherwise known as "The Township of Douro-Dummer Comprehensive Zoning By-law"**

**Whereas** By-law Number 10-1996, as amended, regulates the use of land and the use and erection of buildings and structures within the Township of Douro-Dummer;

**And Whereas** Section 34 of The Planning Act, RSO 1990, as amended, permits the Council to pass an amending Zoning By-law;

**And Whereas** the Council of the Township of Douro-Dummer deems it advisable to further amend By-law No. 10-1996 as amended;

**Now Therefore** the Council of the Township of Douro-Dummer hereby enacts as follows:

1. The area affected by this By-law is known municipally as 800 Canal Road and more particularly described as Part Lot 1, Concession 12 (Douro Ward) being Part Lot 44, Plan 6 as shown on Schedule "1" attached hereto and forming part of this By-law.
2. Section 21 Special Districts is amended by deleting subsection "21.155 Special District 155 Zone (S.D. 155)" in its entirety and replacing it with the following:

**21.155      Special District 155 Zone (S.D. 155) – Roll No. 1522-010-005-24400**

No person shall within any Special District 155 Zone (S.D. 155) use any land, or erect, alter or use any building or structure except in accordance with the following provisions:

**21.155.1      Permitted Uses**

**21.155.1.1**              One permanent single detached 2-storey dwelling on one (1) lot.

**21.155.2      Regulations for Permitted Uses**

All regulations of Section 4.2.1 of the Residential Zone (R) of By-law 10-1996, as amended, shall apply with the following exceptions:

- |   |                      |
|---|----------------------|
| a) Minimum Lot Area                                       | 766 m <sup>2</sup>   |
| b) Minimum Lot Frontage                                   | 24 m                 |
| c) Minimum Front Yard                                     | 9 m                  |
| d) Minimum Rear Yard                                      | 4 m                  |
| e) Minimum First Storey Floor Area                        | 58 m <sup>2</sup>    |
| f) Maximum First Storey Floor Area                        | 134.3 m <sup>2</sup> |
| g) Maximum Lot Coverage                                   | 17.6%                |
| h) Maximum Height   | 9.1 m                |
| i) Minimum setback for a septic system from a public road | 6 m                  |

- j) Minimum Interior Side Yard (South) 1.5 m
- k) Minimum Interior Side Yard (North) 5 m
- l) All provisions of Section 3, General Zone Provisions, as they apply to the use of land, buildings or structures permitted in the Special District 155 Zone (S.D. 155) shall apply and be complied with.

3. All other relevant provisions of By-law 10-1996, as amended, shall apply.

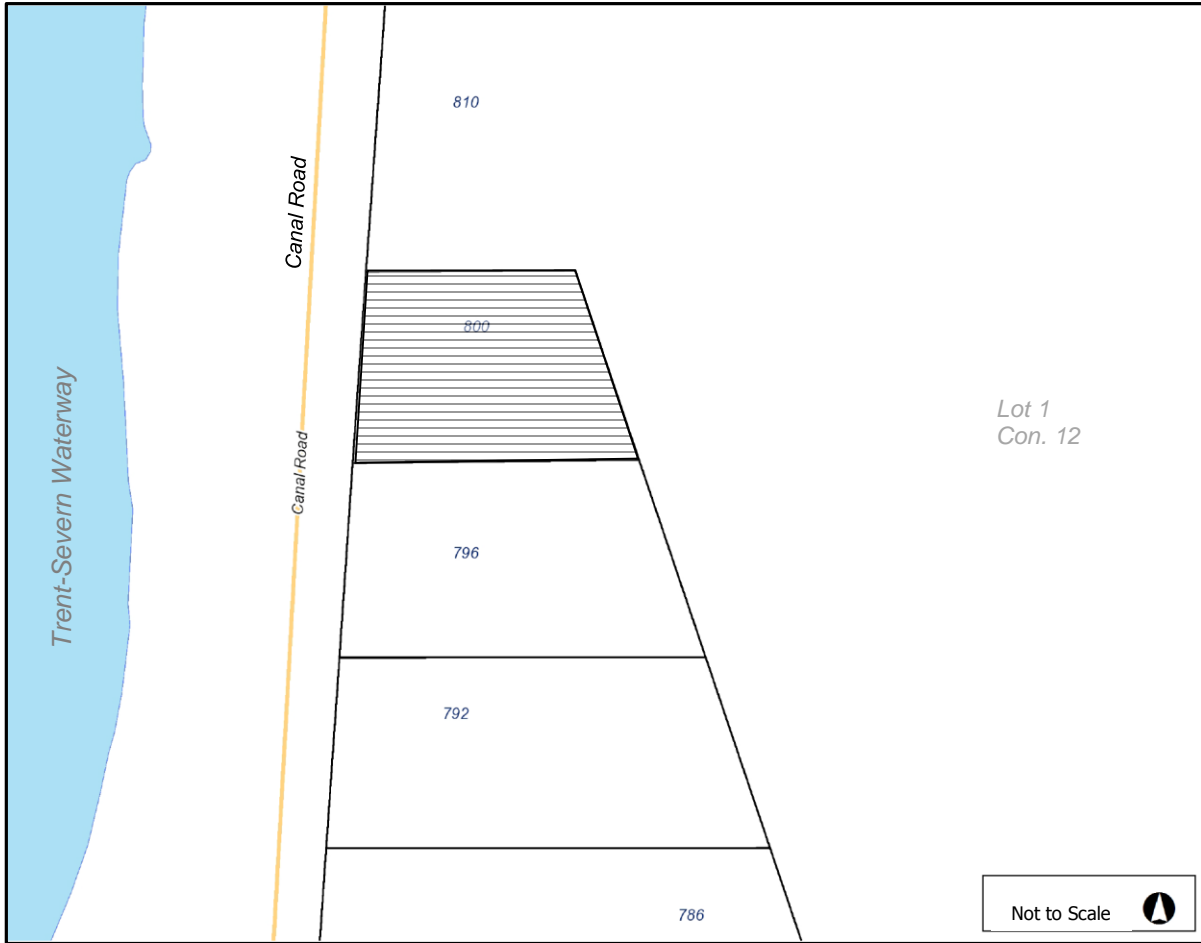
If no notice of objection is filed with the Clerk within the time provided, this By-law shall become effective on the date of passing hereof, subject to the provisions of The Planning Act, RSO 1990, as amended.


Passed in Open Council this 5th day of November 2024.

\_\_\_\_\_  
Mayor, Heather Watson

\_\_\_\_\_  
Clerk - Deputy C.A.O., Martina Chait-Hartwig

Schedule "1" to By-law 2024-65



 **Area to remain zoned the 'Special District 155 Zone (S.D. 155)'**

**This is Schedule '1' to By-law No. 2024-65 passed this 5th day of November 2024.**

\_\_\_\_\_  
Mayor, Heather Watson

\_\_\_\_\_  
Clerk - Deputy C.A.O., Martina Chait-Hartwig

**The Corporation of the Township of Douro-Dummer**

**By-law Number 2024-66**

Being a By-law of The Corporation of the Township of Douro-Dummer to confirm the proceedings of the Regular Council Meeting of Council held on the 5th day of November 2024

---

**The Municipal Council of The Corporation of the Township of Douro-Dummer Enacts as follows:**

1. **That** the action of the Council at its Regular Council Meeting held on November 5th, 2024, in respect to each motion, resolution, and other action passed and taken by the Council at its said meeting is, except where prior approval of the Local Planning Appeal Tribunal is required, hereby approved, ratified, and confirmed.
2. **That** the Mayor and the proper officers of the Township are hereby authorized to do all things necessary to obtain approvals where required, and to execute all documents as may be necessary in that behalf and the Clerk is hereby authorized and directed to affix the Corporate Seal to all such documents.

Passed in Open Council this 5th day of November 2024.

\_\_\_\_\_  
Mayor, Heather Watson

\_\_\_\_\_  
Clerk - Deputy C.A.O., Martina Chait-Hartwig